

Interior Renovations (Residential)

Application Checklist & Submission Package



This document and all attachments are provided as assistance to persons seeking certain approvals and permits as required by various by-laws of the City of Saint John and other acts and regulations. Should there be a discrepancy between this document, and all attachments, and the associated by-law, act or regulations, the associated by-law, act or regulation shall prevail.

Building & Development Permit Application

Checklist required for a complete application for:

➤ Interior Renovations (Residential)

Applicant must submit all that are applicable:

- Completed **Application Form** signed
- Permit fee** and **refundable deposit**
- Floor Plan(s)** showing
 - room dimensions
 - exit locations
 - each room use labelled (kitchen, dining room, furnace room, etc.)
 - existing & proposed partition & load bearing wall locations and showing bearing to grade (if constructing or removing partition walls)
 - noting all materials used
 - showing fire separations (if applicable)
- Foundation Plan** may be required if
 - alterations / repairs are done to foundation
 - creating / increasing opening in foundation wall (window / door openings)
 - altering building structure (i.e. removal of walls to create open concept) showing bearing to existing structural support (beams and/or outer foundation wall)
 - finishing basement – showing
- Cross Section Plan** may be required if
 - If structural renovations / repairs are to be done, show existing construction details and any new construction details (example: replacing section of floor joists on 1st floor – plan review will require the existing floor joist size, new joist size, do they align with a beam in the basement and what is the footing size under the existing beam support in basement, to ensure that all meet NBC requirements)
- Energy Efficiency Design Details** (required if building is gutted to the studs)
- Other information** may also be required to complete the application. It is therefore strongly recommended that the applicant consult with City staff prior to submission.



- You may be subject to **Fire Marshall / Saint John Fire Prevention** approval
– please contact them directly for inquiries at (506)658-2962
or fireprevention@saintjohn.ca



LOCATION	CIVIC ADDRESS :		PID # :	
STAFF USE	HERITAGE AREA: Y / N INTENSIFICATION AREA: Y / N FLOOD RISK AREA: Y / N APPROVED GRADING PLAN: Y / N			
	APPLICATION #:		DATE RECEIVED:	
			RECEIVED BY:	
APPLICANT INFORMATION	APPLICANT	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
	CONTRACTOR	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
	OWNER	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
PRESENT USE:		PROPOSED USE:		
CHECK ALL THAT APPLY	BUILDING	PLANNING	INFRASTRUCTURE	HERITAGE
	<input type="checkbox"/> INTERIOR RENOVATION	<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> VARIANCE	<input type="checkbox"/> STREET EXCAVATION
	<input type="checkbox"/> EXTERIOR RENOVATION	<input type="checkbox"/> ACCESSORY BLDG	<input type="checkbox"/> PLANNING LETTER	<input type="checkbox"/> DRIVEWAY CULVERT
	<input type="checkbox"/> ADDITION	<input type="checkbox"/> POOL	<input type="checkbox"/> PAC APPLICATION	<input type="checkbox"/> DRAINAGE
	<input type="checkbox"/> DECK	<input type="checkbox"/> DEMOLITION	<input type="checkbox"/> COUNCIL APP	<input type="checkbox"/> WATER & SEWERAGE
	<input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> SIGN	<input type="checkbox"/> SUBDIVISION	<input type="checkbox"/> OTHER
	<input type="checkbox"/> MINIMUM STANDARDS	<input type="checkbox"/> OTHER	<input type="checkbox"/> OTHER	<input type="checkbox"/> HERITAGE DEVELOPMENT
			<input type="checkbox"/> HERITAGE SIGN	
			<input type="checkbox"/> HERITAGE INFILL	
			<input type="checkbox"/> HERITAGE DEMO	
			<input type="checkbox"/> OTHER	
DESCRIPTION OF WORK				

I consent to the City of Saint John sending to me commercial electronic messages, from time to time, regarding City initiatives and incentives.

General Collection Statement

This information is being collected in order for the City of Saint John to deliver an existing program / service; the collection is limited to that which is necessary to deliver the program / service. Unless required to do so by law, the City of Saint John will not share your personal information with any third party without your express consent.

The legal authority for collecting this information is to be found in the Municipalities Act and the Right to Information and Protection of Privacy Act. For further information or questions regarding the collection of personal information, please contact the Access & Privacy Officer:

City Hall Building
 15 Market Square
 Saint John, NB E2L 1E8
commonclerk@saintjohn.ca
 (506) 658-2862



I, the undersigned, hereby apply for the permit(s) or approval(s), indicated above for the work described on plans, submissions and forms herewith submitted. This application includes all relevant documentation necessary for the applied for permit(s) or approval(s). I agree to comply with the plans, specifications and further agree to comply with all relevant City By-laws and conditions imposed.

 Applicant Name

 Applicant Signature

 Date



Schedule C: Fees

The application fees referred to in this By-law are as follows:

Building Permits \$120 + \$8.90/\$1,000 of the Estimate + \$2 per page of paper submitted over 279 millimetres x 420 millimetres in size.

Additional Service Fees	
First 2 Additional Inspections Tier 1	FREE
Any further additional inspections Tier 1	\$75
First 3 additional inspections Tier 2	FREE
Any further additional Inspections Tier 2	\$100
First 3 additional inspection Tier 3	FREE
Any further additional Inspections Tier 3	\$200
Additional Review Tier 1	\$75
Additional Review Tier 2	\$100
Additional Review Tier 3	\$100 per hour or portion of hour per occasion
Modification of application fee	\$8.90/\$1,000 of the difference of Estimate

Demolition Permits	Garage or accessory building associated with a Minor and Medium Residential	\$230
	All other	\$340
Relocations	All	The demolition fee and + \$8.90/\$1,000 of the Estimate



Schedule D: Assigned Estimate for Minor and Medium Residential

New construction		\$110 per square foot
Finished basements & additional floors		\$55 per square foot
Additions	With foundation	\$110 per square foot
	Crawlspace	Less 20%
	Post and Beam	Less 30%
Renovations		\$22 per square foot
Decks		\$15 per square foot
Garage (attached or detached)		\$40 per square foot
Siding	Vinyl	\$6.50 per square foot
	Aluminum/Steel	\$7.00 per square foot
	Shingles/Clapboards	\$5.00 per square foot
Notwithstanding the above, where the estimate of materials only is available		Twice the Estimate of materials
New construction		\$110 per square foot
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Additions	With foundation	\$110 per square foot
	Crawlspace	Less 20%
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Notwithstanding the above, where the estimate of materials only is available		Twice the Estimate of materials



Schedule E: Refundable Deposits

The refundable amount of the deposit for Building Permits are:

All permits	If less than \$2,000: \$0
Tier 1 permits	If Estimate is \$2,000 or more: \$200
Tier 2 permits	If Estimate is \$2,000 or more 1% of Estimate: a maximum of \$2,000 and a minimum of \$300
Tier 3 permits	If Estimate is \$2,000 or more 1% of Estimate: a maximum of \$5,000 and a minimum \$500

The refundable amount of the deposit for Demolition Permits are:

All	If Estimate is less than \$2,000: \$150 If Estimate is between \$2,000 and \$10,000: \$500 + 5% of Estimate If Estimate is over \$10,000: 10% of Estimate to a maximum of \$5,000.
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The amount of Refundable Deposit for Relocations are:

All	The applicable Demolition Permit and Building Permit deposit
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Schedule F: Tiers

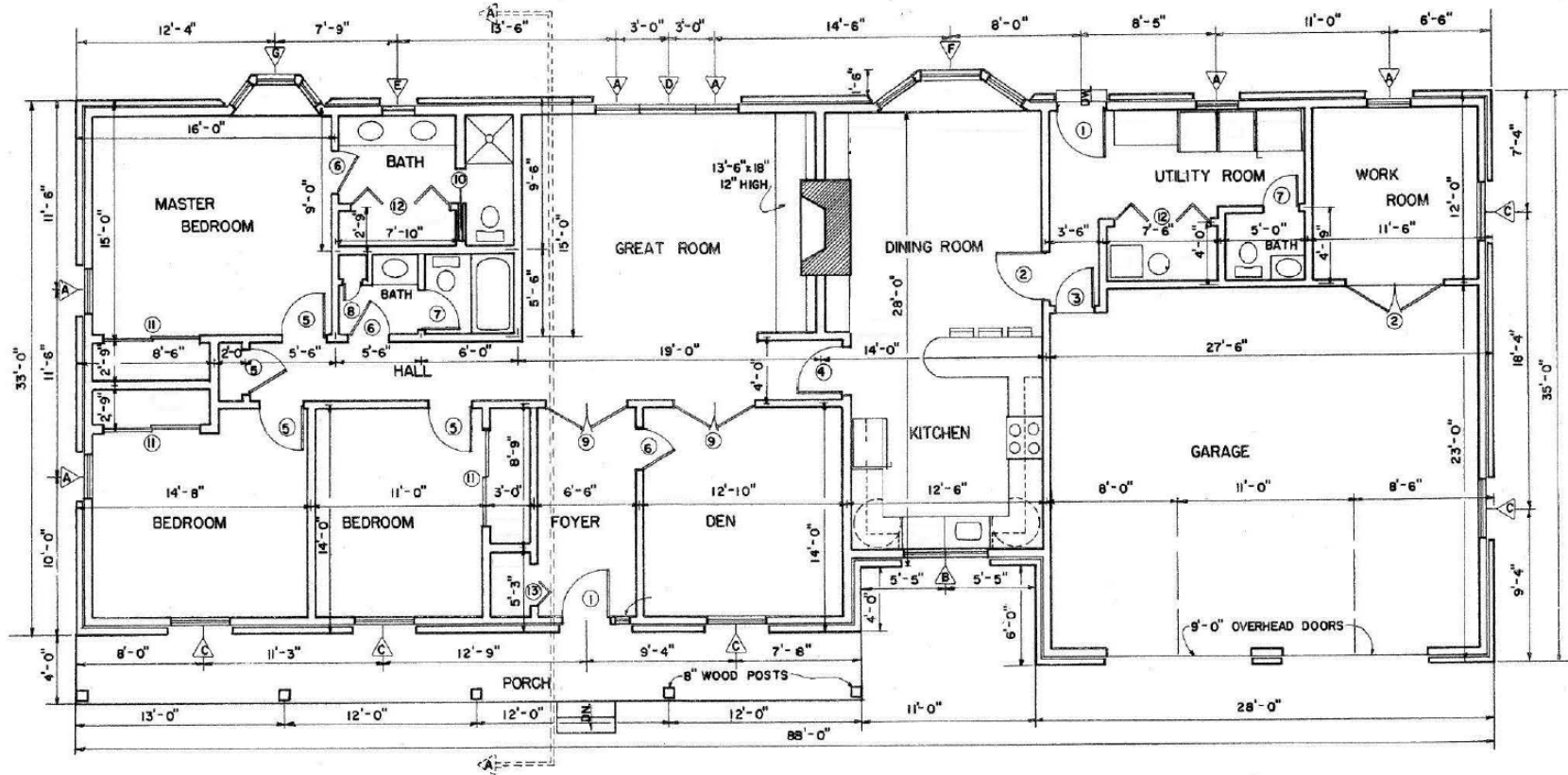
For the purposes of this schedule MICI means:
Multi-unit dwellings of 3 units and above;
Industrial buildings or structures;
Commercial buildings or structures;
Institutional buildings or structures;
And any other building or structure that is not a Minor and Medium Residential.

TIER 1
Minor and Medium Residential Window and Door
Minor and Medium Residential Deck
Minor and Medium Residential Siding
Minor and Medium Residential - Interior Renovations Value less than \$20,000
Minor and Medium Residential - Exterior Renovations Value less than \$20,000
Minor and Medium Residential - Accessory Building and Garage
All Demolitions
Electrical

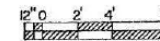
TIER 2
Minor and Medium Residential – New
Minor and Medium Residential - New dwelling unit or secondary suite
Minor and Medium Residential - Addition
Minor and Medium Residential- Interior Renovations Value \$20,000 and greater
Minor and Medium Residential - Exterior Renovations Value \$20,000 and greater
MICI - Interior Renovations Value less than \$25,000
MICI - Exterior Renovations Value less than \$25,000
MICI - Change of Occupancy, no renovations
Mobile Home
Tents

TIER 3
MICI - New
MICI - Addition
MICI - New dwelling unit
MICI - Interior Renovations Value \$25,000 and greater
MICI - Exterior Renovations Value \$25,000 and greater

FLOOR PLANS EXAMPLE



FLOOR PLAN

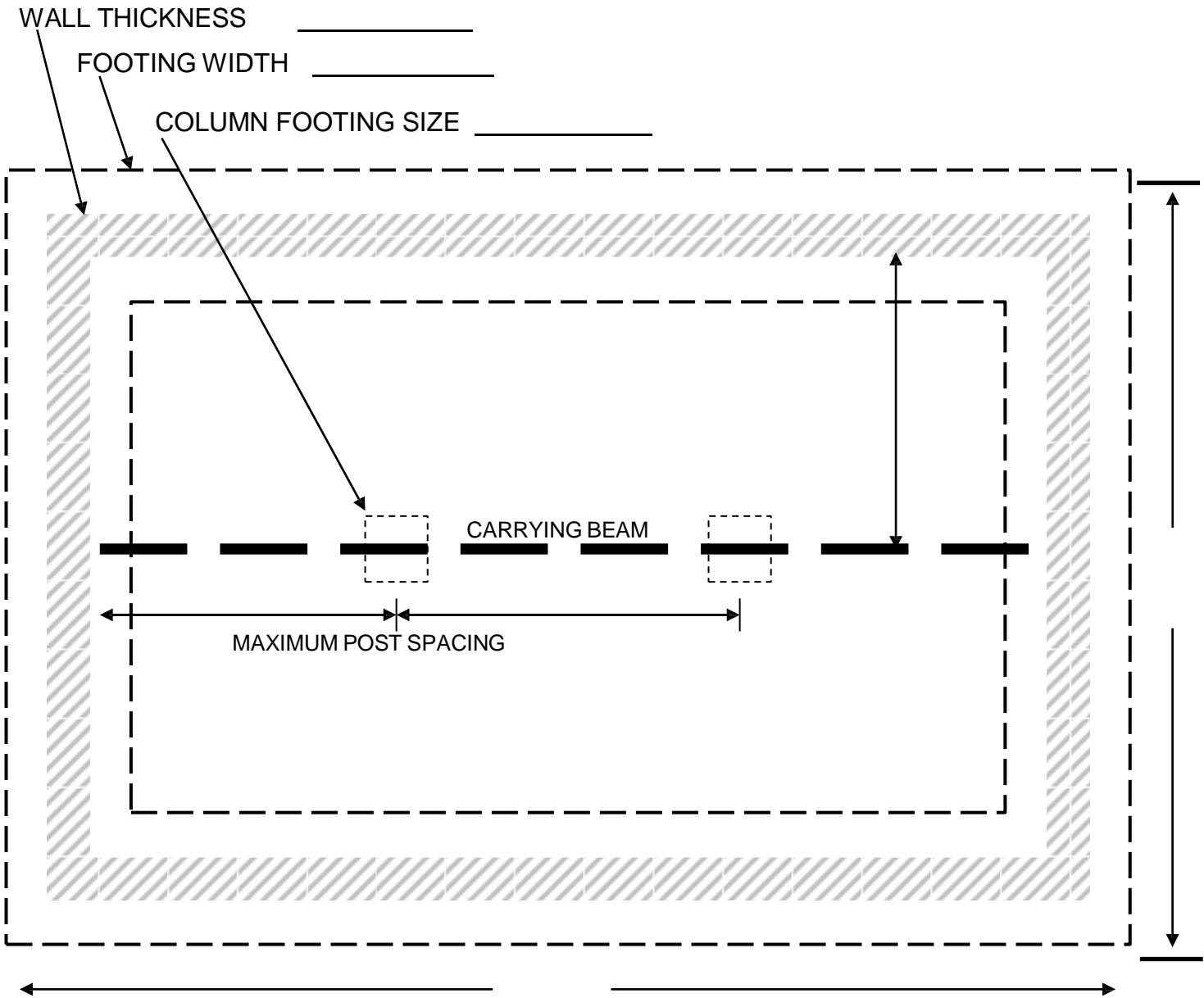


SCALE 3/16" = 1' - 0"

FOUNDATION - TYPICAL

(Part 9 National Building Code – Residential)

NUMBER OF FLOORS SUPPORTED	
CARRYING BEAM SIZE	
FLOOR JOIST SIZE	
FLOOR JOIST SPACING	
FLOOR JOIST SPAN	See diagram
MAXIMUM POST SPACING	See diagram

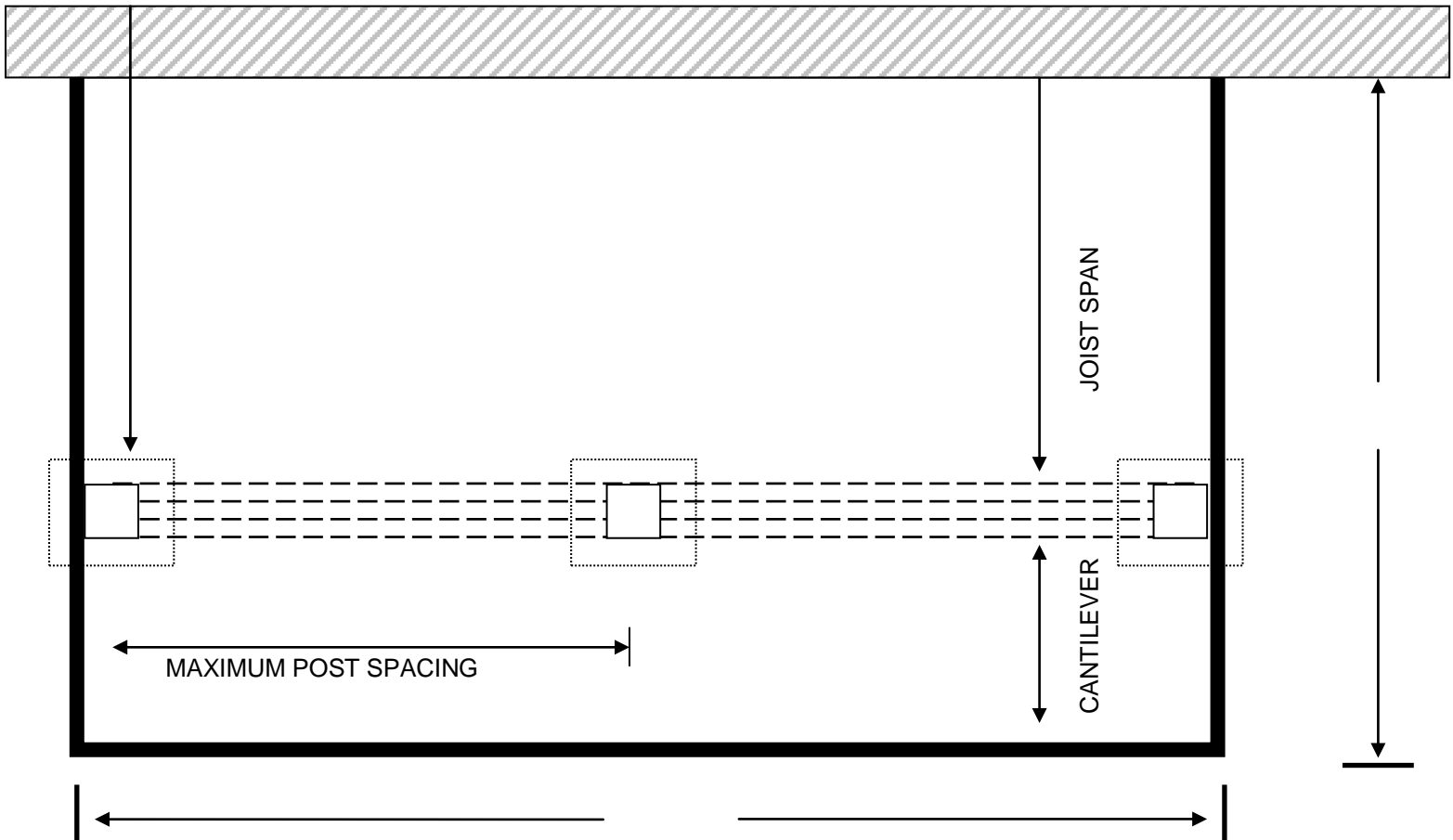


FOUNDATION - POST & BEAM

(Part 9 National Building Code – Residential)

NUMBER OF FLOORS SUPPORTED	
CARRYING BEAM SIZE	3 @ 2 x
FLOOR JOIST SIZE	
FLOOR JOIST SPACING	
FLOOR JOIST SPAN	See diagram
MAXIMUM POST SPACING	See diagram
CANTILEVER	See diagram

COLUMN FOOTING SIZE _____



TYPICAL WALL SECTION (EXTERIOR) - SINGLE STOREY (RESIDENTIAL)

Roof Construction

FINISH: Shingles ___ Metal ___ Other: _____

SHEATHING: OSB ___ Plywood ___ Boards: _____

Thickness: _____

TRUSSES: Yes ___ No ___ (If no enter rafter info)

RAFTERS: Size _____ Spacing _____

INSULATION: Type: _____ R Value _____

VAPOUR BARRIER: 6mm Poly ___ Other: _____

CEILING FINISH: Gyproc ___ Other: _____

Type: _____ Thickness _____

Wall Construction

EXTERIOR CLADDING:

Vinyl ___ Metal ___ Clapboard ___ Other: _____

HOUSE WRAP:

Tyvek ___ Typar ___ Tarpaper ___ Other: _____

EXTRUDED POLYSTYRENE _____

EXPANDED POLYSTYRENE _____ (If Applicable)

SHEATHING: OSB ___ Plywood ___ Boards _____

Thickness: _____

WALL STUD: Size _____ Spacing _____

INSULATION: Type _____ R-Value _____

VAPOUR BARRIER: 6mm Poly ___ Other: _____

INTERIOR FINISH: Gyproc ___ Other: _____

Type _____ Thickness _____

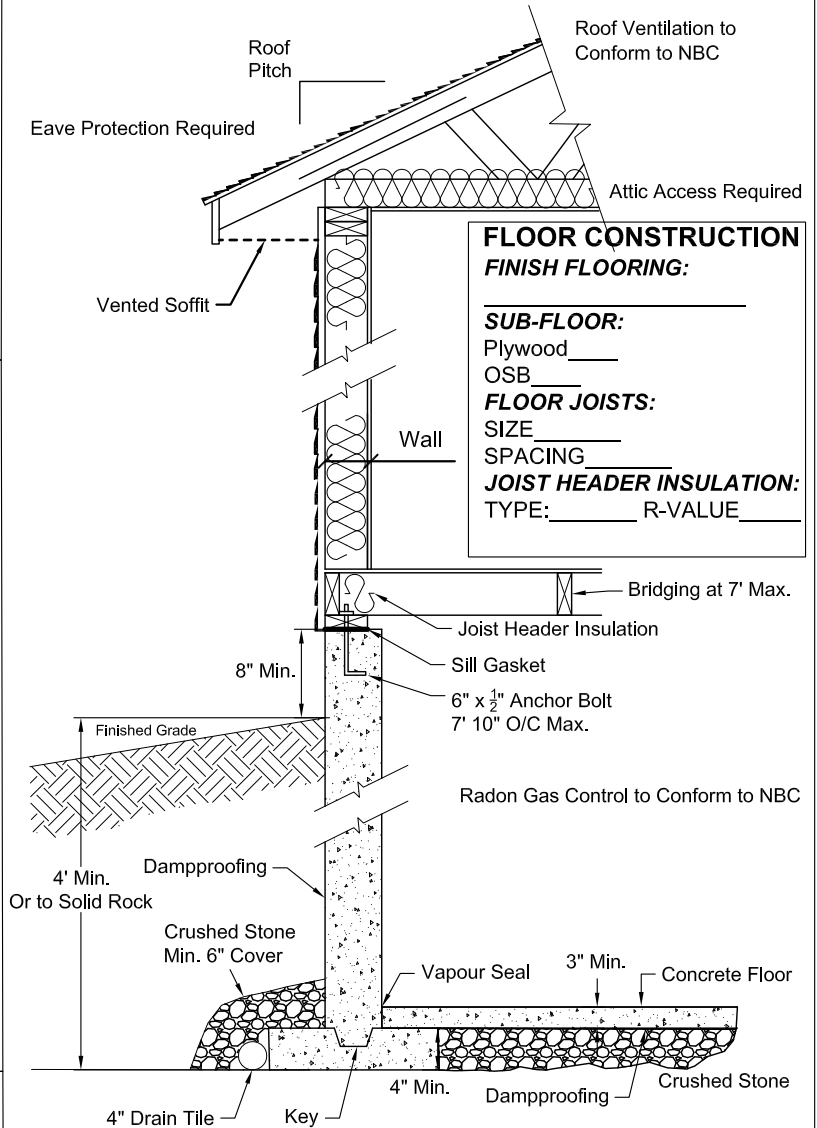
FOUNDATION

FOUNDATION WALL THICKNESS: _____

FOOTING WIDTH: _____

BELOW GRADE WALL ASSEMBLY: _____

BELOW SLAB INSULATION: _____



FLOOR CONSTRUCTION FINISH FLOORING:

SUB-FLOOR:

Plywood _____

OSB _____

FLOOR JOISTS:

SIZE _____

SPACING _____

JOIST HEADER INSULATION:

TYPE: _____ R-VALUE _____

Drawings are not to scale

TYPICAL WALL SECTION (EXTERIOR) - TWO STOREY (RESIDENTIAL)

Roof Construction

FINISH: Shingles ___ Metal ___ Other: _____
 SHEATHING: OSB ___ Plywood ___ Boards: _____
 Thickness: _____
 TRUSSES: Yes ___ No ___ (If no enter rafter info)
 RAFTERS: Size _____ Spacing _____
 INSULATION: Type: _____ R Value _____
 VAPOUR BARRIER: 6mm Poly ___ Other: _____
 CEILING FINISH: Gyproc ___ Other: _____
 Type: _____ Thickness _____

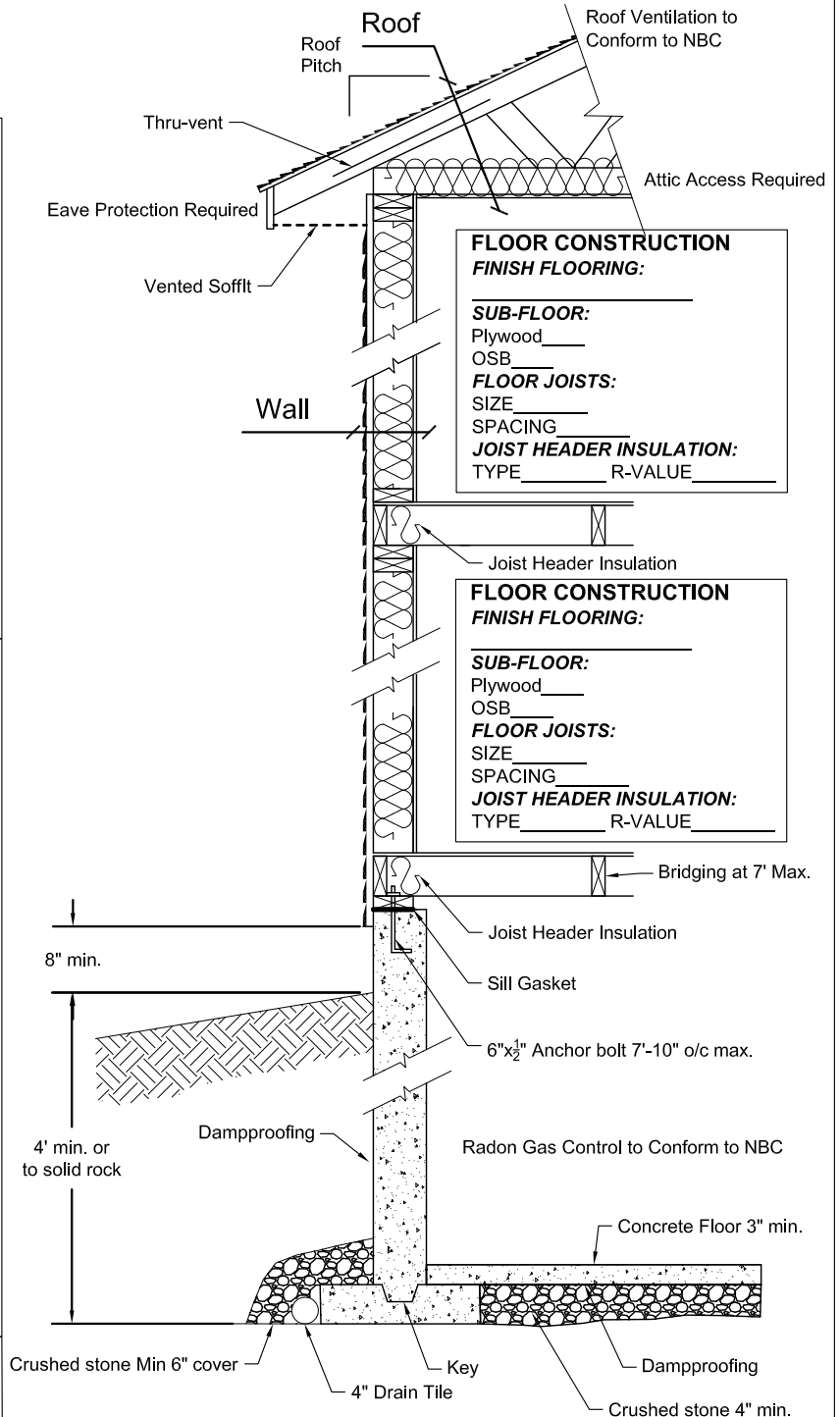
Wall Construction

EXTERIOR CLADDING:
 Vinyl ___ Metal ___ Clapboard ___ Other: _____
 HOUSE WRAP:
 Tyvek ___ Typar ___ Tarpaper ___ Other: _____
 EXTRUDED POLYSTYRENE _____
 EXPANDED POLYSTYRENE _____ (If Applicable)
 SHEATHING: OSB ___ Plywood ___ Boards _____
 Thickness: _____
 WALL STUD: Size _____ Spacing _____
 INSULATION: Type _____ R-Value _____
 VAPOUR BARRIER: 6mm Poly ___ Other: _____
 INTERIOR FINISH: Gyproc ___ Other: _____
 Type _____ Thickness _____

FOUNDATION

FOUNDATION WALL THICKNESS: _____
 FOOTING WIDTH: _____
 BELOW GRADE WALL ASSEMBLY: _____

 BELOW SLAB INSULATION: _____



TYPICAL WALL SECTION (POST & BEAM) - SINGLE STOREY (RESIDENTIAL)

Roof Construction

FINISH: Shingles ___ Metal ___ Other: _____

SHEATHING: OSB ___ Plywood ___ Boards: _____

Thickness: _____

TRUSSES: Yes ___ No ___ (If no enter rafter info)

RAFTERS: Size _____ Spacing _____

INSULATION: Type: _____ R Value _____

VAPOUR BARRIER: 6mm Poly ___ Other: _____

CEILING FINISH: Gyproc ___ Other: _____

Type: _____ Thickness _____

Wall Construction

EXTERIOR CLADDING:

Vinyl ___ Metal ___ Clapboard ___ Other: _____

HOUSE WRAP:

Tyvek ___ Typar ___ Tarpaper ___ Other: _____

EXTRUDED POLYSTYRENE _____

EXPANDED POLYSTYRENE _____ (If Applicable)

SHEATHING: OSB ___ Plywood ___ Boards _____

Thickness: _____

WALL STUD: Size _____ Spacing _____

INSULATION: Type _____ R-Value _____

VAPOUR BARRIER: 6mm Poly ___ Other: _____

INTERIOR FINISH: Gyproc ___ Other: _____

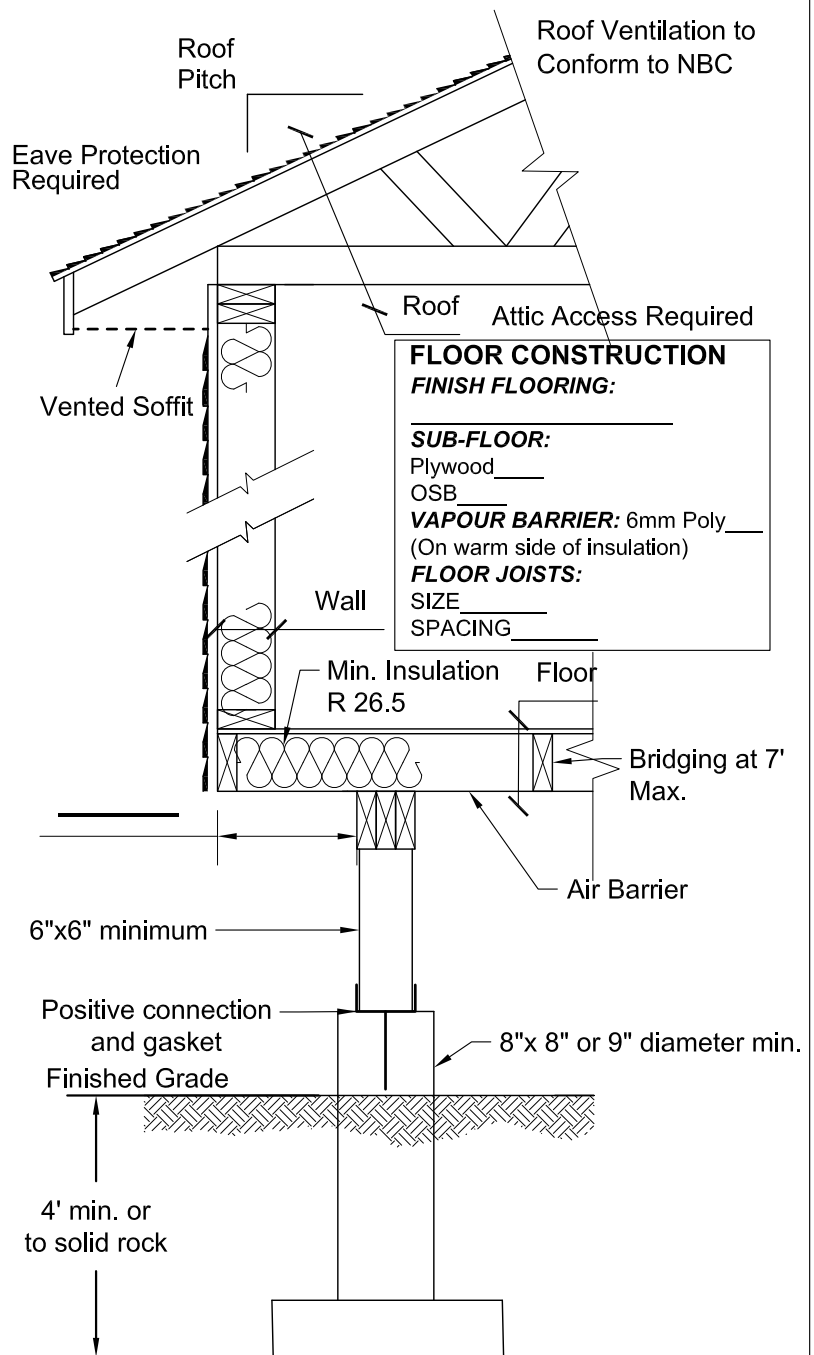
Type _____ Thickness _____

FOUNDATION

BEAM 3 @ 2" X _____

POST SIZE (6" x 6" min.): _____

FOOTING WIDTH: _____



FLOOR CONSTRUCTION
FINISH FLOORING:

SUB-FLOOR:
Plywood ___
OSB ___
VAPOUR BARRIER: 6mm Poly ___
(On warm side of insulation)
FLOOR JOISTS:
SIZE _____
SPACING _____

Drawings are not to scale



INSTRUCTIONS

Complete the following chart with the construction details for the project.

Table 1 - Identify each different building envelope construction and indicate the matching assembly number from those available (see Energy Efficiency Assemblies Guide for details)

<http://www.saintjohn.ca/site/media/SaintJohn/Assemblies%20Information%20Binder.pdf>.

If you will be providing your own assembly, a blank template is available for you to complete. A cross section of the assembly must be provided.

Table 2 - Identify the windows and doors in the construction, along with the model and either the ER value, the U value or the Energy Star Zone letter. **(Leave all labels on the windows for final pre-occupancy inspection.)**

Table 3 – Identify the mechanical equipment of the building including the equipment’s associated efficiency information. A form for ventilation must also be submitted (see page 3).

Table 4 - Only needs to be completed if trade-offs are being used.

PROPERTY ADDRESS:

PROPERTY ADDRESS:				
1.	Type of Assembly	Assembly number	RSI or R Value	For office use
Building Envelope	Ceilings			
	Ceilings (below attic)			
	Ceiling (cathedral and flat roof – if applicable)			
	Ceilings tray			
	Exterior Walls & location			
	Walls			
	Walls			
	Walls			
	Walls			
	Shared Garage Wall (if applicable)			
	Joist Headers			
	Floor Joist Cavity			
	Basement Walls			
	Basement wall			
	Basement wall			
Floors				
Slab				

City of Saint John
Prescriptive Energy Efficiency Design Detail

2.	In floor heating Model	Y/N Rating (ER, U or Energy Star)	Model	Rating (ER, U or Energy Star)
Windows, Doors and Skylights	Windows			
	Doors			
	Skylights			

3. MECHANICAL SYSTEMS

Ventilation System			
Manufacturer		Model	
Ventilation Rate	See attached ventilation form to complete (next page)		
OFFICE USE	Efficiency At 0°C	At -25°C	
Heating & Cooling Systems			
Main System		Manufacturer	
Fuel Type		Model	
Heat Pump	AHRI #		
OFFICE USE	Efficiency		
Secondary System		Manufacturer	
Fuel Type		Model	
OFFICE USE	Efficiency		
Other Systems		Manufacturer	
Fuel Type		Model	
OFFICE USE	Efficiency		
Hot Water System			
Type		Manufacturer	
Fuel Type		Model	
OFFICE USE	Efficiency		

City of Saint John
Prescriptive Energy Efficiency Design Detail

Mechanical Ventilation Record – Residential (based on HRAI form)

Installer Information			
Company			
Address			
Telephone		Cell	
Contact name			
HRAI # (if applicable)			
Design method for Ventilation NBC 2010 (9.32) <input type="checkbox"/> CSA F326 <input type="checkbox"/>			
Ventilation Capacity Rate			
Room Type	Quantity	@	Ventilation Capacity
Unfinished Basement		L/s	L/s
Master Bedroom		L/s	L/s
Bedrooms		L/s	L/s
Kitchen		L/s	L/s
Living Room		L/s	L/s
Dining Room		L/s	L/s
Bathroom		L/s	L/s
Other Habitable Rooms		L/s	L/s
		L/s	L/s
Total Ventilation Capacity			L/s
Ventilation System			
Manufacturer		Model	
Design Air Flow			
Additional Exhaust			
Bathroom Fan (quantity x air change rate L/s) =			
Kitchen Range Hood (quantity x air change rate L/s) =			
Other			

City of Saint John
Prescriptive Energy Efficiency Design Detail

4.	TRADE-OFFS
	Only complete this form if you are using trade-offs. If you require additional room to complete the form, please attach to the application.
	1. ABOVE GRADE EXTERIOR WALLS AND CEILINGS
Above Grade Exterior walls & Ceilings	Detail the trade offs
	2. WINDOWS
	Trade-offs for windows must be in the same orientation and have same window surface areas. Doors cannot be traded. Only fill out the detail for the elevation you are trading.
Windows	
	3. BUILDINGS WITH LOW CEILINGS (9.36.2.11.4)