

# Additions

## Application Checklist & Submission Package



*This document and all attachments are provided as assistance to persons seeking certain approvals and permits as required by various by-laws of the City of Saint John and other acts and regulations. Should there be a discrepancy between this document, and all attachments, and the associated by-law, act or regulations, the associated by-law, act or regulation shall prevail.*

## Building & Development Permit Application

Checklist required for a complete application for:

### ➤ Additions (Residential)

(includes attached garages, porches, covered decks, carports, breezeways)

**HERITAGE:** If building is in a "Heritage Conservation Area" please contact the Heritage Officer for requirements, analysis and approval prior to applying for a building permit. All aspects of exterior work / alteration to the building require Heritage approval.

**FLOOD RISK AREA:** If the building is located within the Flood Risk Area, any alteration to the footprint of the building may require analysis and purchase of compensatory storage. Please contact us for Flood Risk Area Development approval prior to applying for a building permit.

Applicant must submit all that are applicable:

- Completed **Application Form** signed
- Permit Fee** and **Refundable Deposit**
- Floor Plans**
- Foundation Plan**
- Cross Section**
- Elevations** (all 4 sides) noting building height
- Site Plan** showing
  - size of lot
  - dimensions from each property line to building(s)
  - driveway access / width
  - parking (if applicable)
  - landscaping (if applicable)
- Storm Water / Rough Grading Plan** (1 unit, 2 unit or semi-detached residential building) if there is an approved Grading Plan previously approved for the subdivision / lot



- ❑ **Storm Water Drainage Sketch** (1 unit, 2 units or semi-detached residential building) on site plan show storm water arrows indicating the direction of drainage / slope of lot (must include any ditches and swales).
  - ❑ **Storm Drainage Submission** (3 or more dwelling units, townhouses, commercial, industrial, institutional)
- Or
- ❑ **Professional Engineer stamped certification letter** where practical
  - ❑ **Energy Efficiency Information** (form available or info may be noted on cross section drawing)
  - ❑ **Window** information
  - ❑ **Door** information
  - ❑ **Ventilation** information / **Mechanical** information (if applicable)
  - ❑ **Truss Layouts** (for roof and floor)
  - ❑ If adding a 4<sup>th</sup> dwelling unit, Barrier Free Regulations apply / please contact the One Stop Development Shop for any questions
  - ❑ **Other information** may also be required to complete the application. It is therefore strongly recommended that the applicant consult with City staff prior to submission.
  - ❑ You may be subject to **Fire Marshall / Saint John Fire Prevention** approval – please contact them directly for inquiries at (506)658-2962 or [fireprevention@saintjohn.ca](mailto:fireprevention@saintjohn.ca)

Additional Permits which may be required:

- ❑ **Water and Sewer Permit** (any alteration / connection to city water and/or sewer services)
- ❑ **Excavation Permit** (any alteration within the street right of way)
  - cutting the curb to create, relocate or widen driveway
  - create / install culvert
  - any water and sewer connection into the city water / sewer main



LOCATION	CIVIC ADDRESS :		PID # :	
STAFF USE	HERITAGE AREA: Y / N INTENSIFICATION AREA: Y / N FLOOD RISK AREA: Y / N APPROVED GRADING PLAN: Y / N			
	APPLICATION #:		DATE RECEIVED:	
			RECEIVED BY:	
APPLICANT INFORMATION	APPLICANT	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
	CONTRACTOR	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
	OWNER	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
PRESENT USE:		PROPOSED USE:		
CHECK ALL THAT APPLY	<b>BUILDING</b>	<b>PLANNING</b>	<b>INFRASTRUCTURE</b>	<b>HERITAGE</b>
	<input type="checkbox"/> INTERIOR RENOVATION	<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> VARIANCE	<input type="checkbox"/> STREET EXCAVATION
	<input type="checkbox"/> EXTERIOR RENOVATION	<input type="checkbox"/> ACCESSORY BLDG	<input type="checkbox"/> PLANNING LETTER	<input type="checkbox"/> DRIVEWAY CULVERT
	<input type="checkbox"/> ADDITION	<input type="checkbox"/> POOL	<input type="checkbox"/> PAC APPLICATION	<input type="checkbox"/> DRAINAGE
	<input type="checkbox"/> DECK	<input type="checkbox"/> DEMOLITION	<input type="checkbox"/> COUNCIL APP	<input type="checkbox"/> WATER & SEWERAGE
	<input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> SIGN	<input type="checkbox"/> SUBDIVISION	<input type="checkbox"/> OTHER
	<input type="checkbox"/> MINIMUM STANDARDS	<input type="checkbox"/> OTHER	<input type="checkbox"/> OTHER	<input type="checkbox"/> HERITAGE DEVELOPMENT
			<input type="checkbox"/> HERITAGE SIGN	
			<input type="checkbox"/> HERITAGE INFILL	
			<input type="checkbox"/> HERITAGE DEMO	
			<input type="checkbox"/> OTHER	
DESCRIPTION OF WORK				

I consent to the City of Saint John sending to me commercial electronic messages, from time to time, regarding City initiatives and incentives.

**General Collection Statement**

This information is being collected in order for the City of Saint John to deliver an existing program / service; the collection is limited to that which is necessary to deliver the program / service. Unless required to do so by law, the City of Saint John will not share your personal information with any third party without your express consent.

The legal authority for collecting this information is to be found in the Municipalities Act and the Right to Information and Protection of Privacy Act. For further information or questions regarding the collection of personal information, please contact the Access & Privacy Officer:

City Hall Building  
 15 Market Square Saint  
 John, NB E2L 1E8  
[commonclerk@saintjohn.ca](mailto:commonclerk@saintjohn.ca)  
 (506) 658-2862



I, the undersigned, hereby apply for the permit(s) or approval(s), indicated above for the work described on plans, submissions and forms herewith submitted. This application includes all relevant documentation necessary for the applied for permit(s) or approval(s). I agree to comply with the plans, specifications and further agree to comply with all relevant City By-laws and conditions imposed.

\_\_\_\_\_  
 Applicant Name

\_\_\_\_\_  
 Applicant Signature

\_\_\_\_\_  
 Date



## Schedule C: Fees

The application fees referred to in this By-law are as follows:

Building Permits \$120 + \$8.90/\$1,000 of the Estimate + \$2 per page of paper submitted over 279 millimetres x 420 millimetres in size.

Additional Service Fees	
First 2 Additional Inspections Tier 1	FREE
Any further additional inspections Tier 1	\$75
First 3 additional inspections Tier 2	FREE
Any further additional Inspections Tier 2	\$100
First 3 additional inspection Tier 3	FREE
Any further additional Inspections Tier 3	\$200
Additional Review Tier 1	\$75
Additional Review Tier 2	\$100
Additional Review Tier 3	\$100 per hour or portion of hour per occasion
Modification of application fee	\$8.90/\$1,000 of the difference of Estimate

Demolition Permits	Garage or accessory building associated with a Minor and Medium Residential	\$230
	All other	\$340
Relocations	All	The demolition fee and + \$8.90/\$1,000 of the Estimate



## Schedule D: Assigned Estimate for Minor and Medium Residential

New construction		\$110 per square foot
Finished basements & additional floors		\$55 per square foot
Additions	With foundation	\$110 per square foot
	Crawlspace	Less 20%
	Post and Beam	Less 30%
Renovations		\$22 per square foot
Decks		\$15 per square foot
Garage (attached or detached)		\$40 per square foot
Siding	Vinyl	\$6.50 per square foot
	Aluminum/Steel	\$7.00 per square foot
	Shingles/Clapboards	\$5.00 per square foot
Notwithstanding the above, where the estimate of materials only is available		Twice the Estimate of materials
New construction		\$110 per square foot
Finished basements & additional floors		\$55 per square foot
Additions	With foundation	\$110 per square foot
	Crawlspace	Less 20%
	Post and Beam	Less 30%
Renovations		\$22 per square foot
Decks		\$15 per square foot
Garage (attached or detached)		\$40 per square foot
Siding	Vinyl	\$6.50 per square foot
	Aluminum/Steel	\$7.00 per square foot
	Shingles/Clapboards	\$5.00 per square foot
Notwithstanding the above, where the estimate of materials only is available		Twice the Estimate of materials



## Schedule E: Refundable Deposits

The refundable amount of the deposit for Building Permits are:

All permits	If less than \$2,000: \$0
Tier 1 permits	If Estimate is \$2,000 or more: \$200
Tier 2 permits	If Estimate is \$2,000 or more 1% of Estimate: a maximum of \$2,000 and a minimum of \$300
Tier 3 permits	If Estimate is \$2,000 or more 1% of Estimate: a maximum of \$5,000 and a minimum \$500

The refundable amount of the deposit for Demolition Permits are:

All	If Estimate is less than \$2,000: \$150  If Estimate is between \$2,000 and \$10,000: \$500 + 5% of Estimate  If Estimate is over \$10,000: 10% of Estimate to a maximum of \$5,000.
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The amount of Refundable Deposit for Relocations are:

All	The applicable Demolition Permit and Building Permit deposit
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## Schedule F: Tiers

<b>For the purposes of this schedule MICI means:</b>
<b>Multi-unit dwellings of 3 units and above;</b>
<b>Industrial buildings or structures;</b>
<b>Commercial buildings or structures;</b>
<b>Institutional buildings or structures;</b>
And any other building or structure that is not a Minor and Medium Residential.

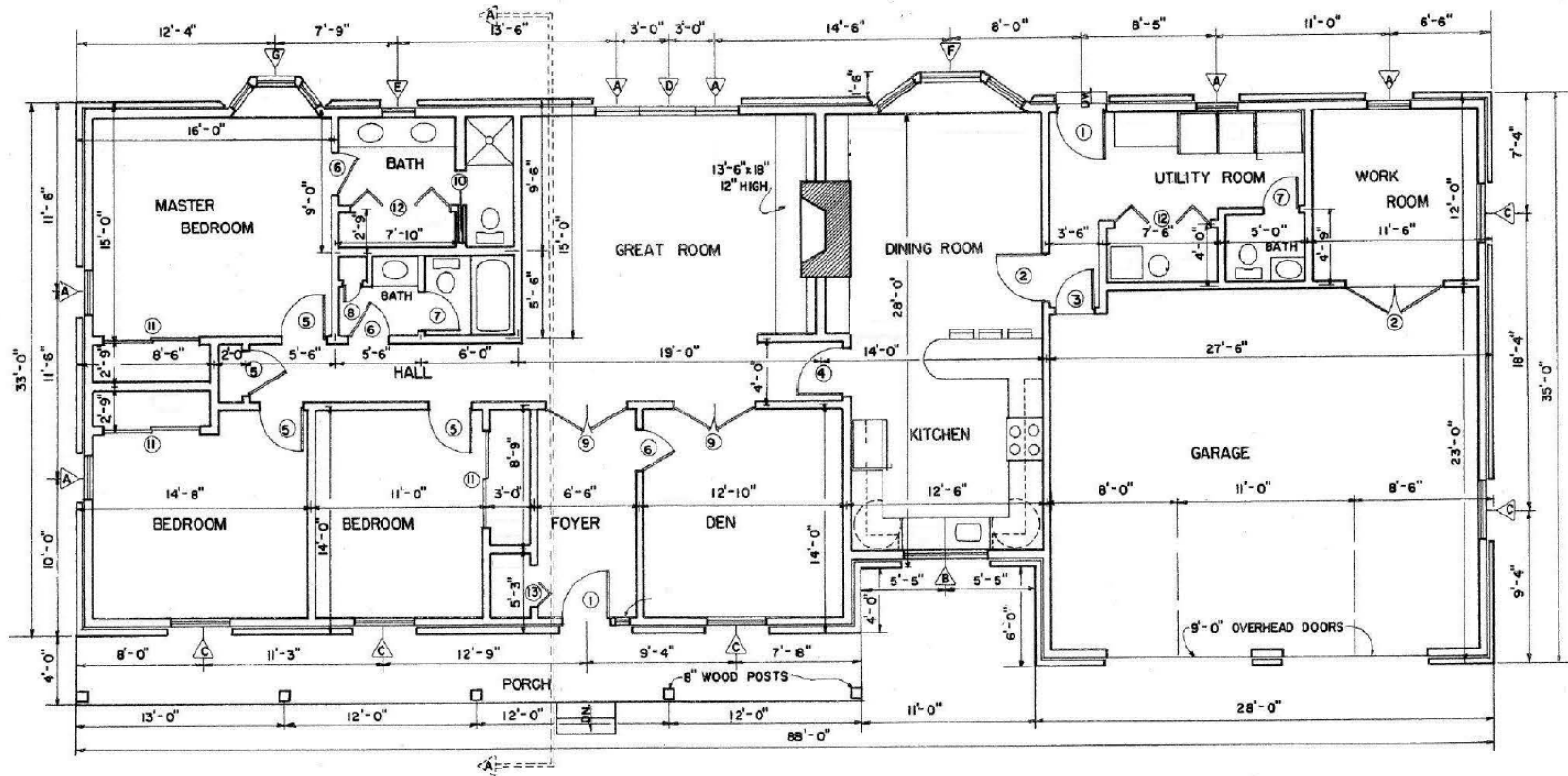
<b>TIER 1</b>
Minor and Medium Residential Window and Door
Minor and Medium Residential Deck
Minor and Medium Residential Siding
Minor and Medium Residential - Interior Renovations Value less than \$20,000
Minor and Medium Residential - Exterior Renovations Value less than \$20,000
Minor and Medium Residential - Accessory Building and Garage
All Demolitions
Electrical

<b>TIER 2</b>
Minor and Medium Residential – New
Minor and Medium Residential - New dwelling unit or secondary suite
Minor and Medium Residential - Addition
Minor and Medium Residential- Interior Renovations Value \$20,000 and greater
Minor and Medium Residential - Exterior Renovations Value \$20,000 and greater
MICI - Interior Renovations Value less than \$25,000
MICI - Exterior Renovations Value less than \$25,000
MICI - Change of Occupancy, no renovations
Mobile Home
Tents

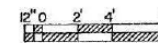
<b>TIER 3</b>
MICI - New
MICI - Addition
MICI - New dwelling unit
MICI - Interior Renovations Value \$25,000 and greater
MICI - Exterior Renovations Value \$25,000 and greater



# FLOOR PLANS EXAMPLE



FLOOR PLAN

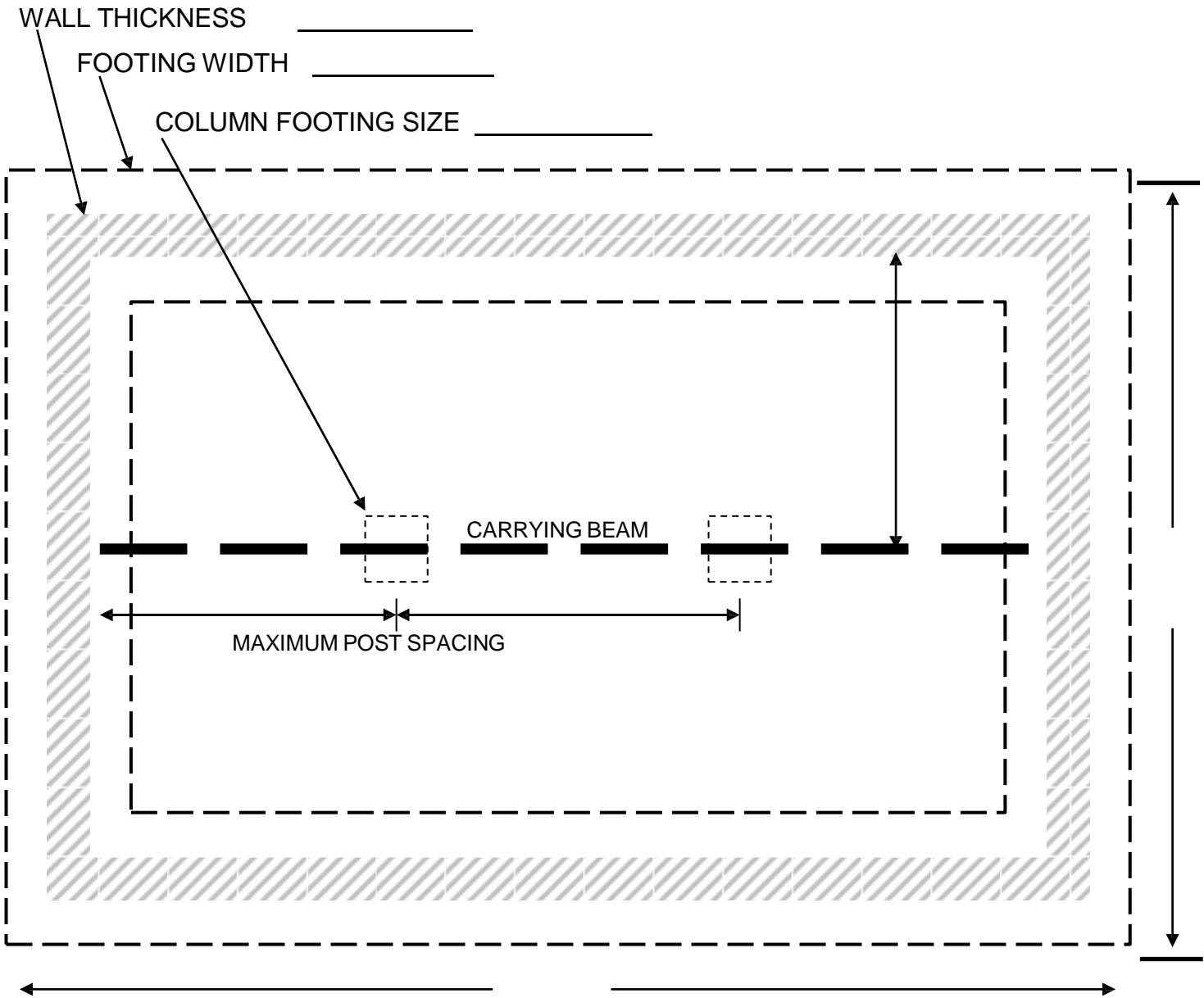


SCALE 3/16" = 1' - 0"

# FOUNDATION - TYPICAL

## (Part 9 National Building Code – Residential)

NUMBER OF FLOORS SUPPORTED	
CARRYING BEAM SIZE	
FLOOR JOIST SIZE	
FLOOR JOIST SPACING	
FLOOR JOIST SPAN	See diagram
MAXIMUM POST SPACING	See diagram

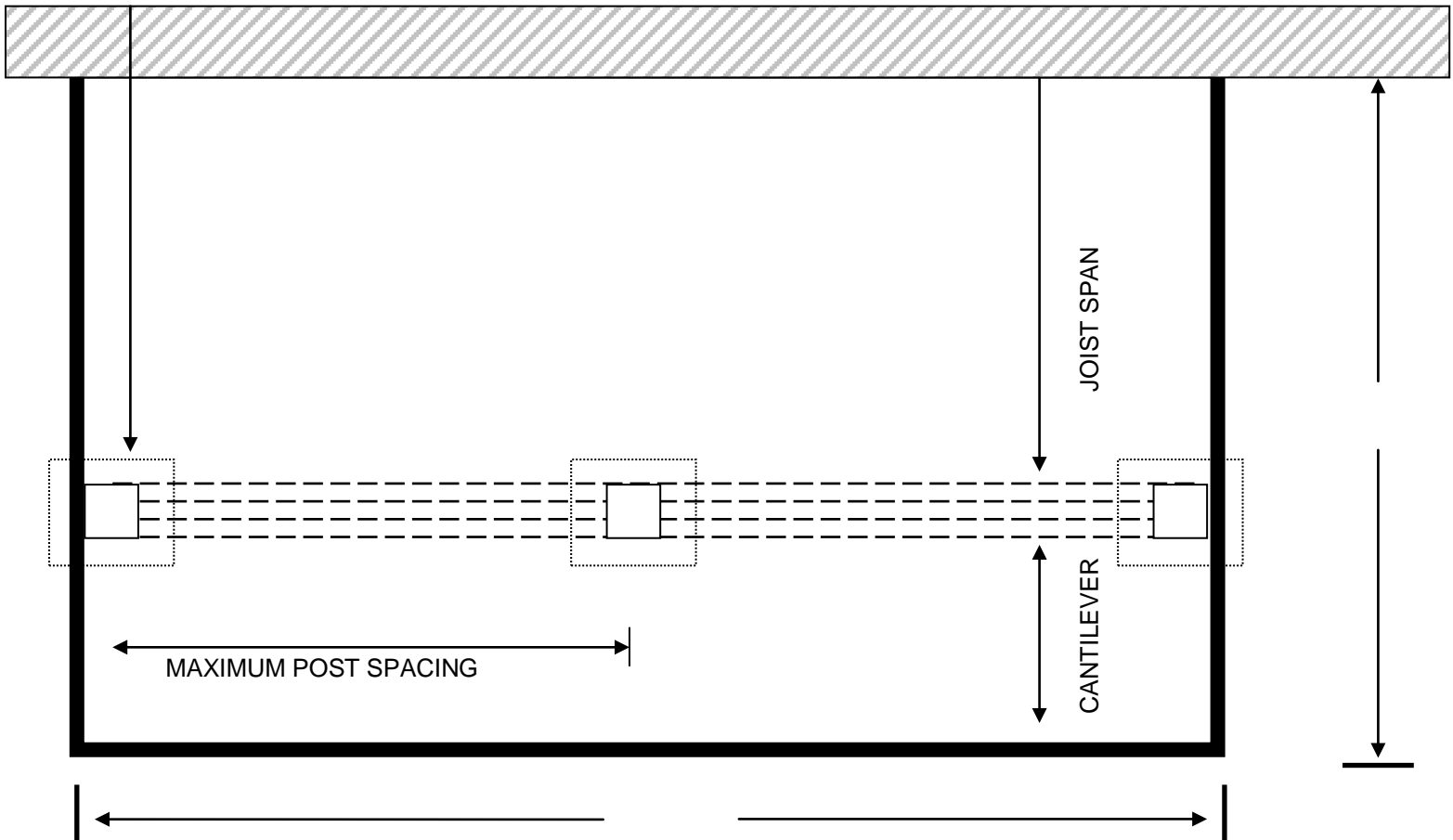


# FOUNDATION - POST & BEAM

## (Part 9 National Building Code – Residential)

NUMBER OF FLOORS SUPPORTED	
CARRYING BEAM SIZE	3 @ 2 x
FLOOR JOIST SIZE	
FLOOR JOIST SPACING	
FLOOR JOIST SPAN	See diagram
MAXIMUM POST SPACING	See diagram
CANTILEVER	See diagram

COLUMN FOOTING SIZE \_\_\_\_\_



## TYPICAL WALL SECTION (EXTERIOR) - SINGLE STOREY (RESIDENTIAL)

### Roof Construction

FINISH: Shingles \_\_\_ Metal \_\_\_ Other: \_\_\_\_\_

SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards: \_\_\_\_\_

Thickness: \_\_\_\_\_

TRUSSES: Yes \_\_\_ No \_\_\_ (If no enter rafter info)

RAFTERS: Size \_\_\_\_\_ Spacing \_\_\_\_\_

INSULATION: Type: \_\_\_\_\_ R Value \_\_\_\_\_

VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_

CEILING FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_

Type: \_\_\_\_\_ Thickness \_\_\_\_\_

### Wall Construction

EXTERIOR CLADDING:

Vinyl \_\_\_ Metal \_\_\_ Clapboard \_\_\_ Other: \_\_\_\_\_

HOUSE WRAP:

Tyvek \_\_\_ Typar \_\_\_ Tarpaper \_\_\_ Other: \_\_\_\_\_

EXTRUDED POLYSTYRENE \_\_\_\_\_

EXPANDED POLYSTYRENE \_\_\_\_\_ (If Applicable)

SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards \_\_\_\_\_

Thickness: \_\_\_\_\_

WALL STUD: Size \_\_\_\_\_ Spacing \_\_\_\_\_

INSULATION: Type \_\_\_\_\_ R-Value \_\_\_\_\_

VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_

INTERIOR FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_

Type \_\_\_\_\_ Thickness \_\_\_\_\_

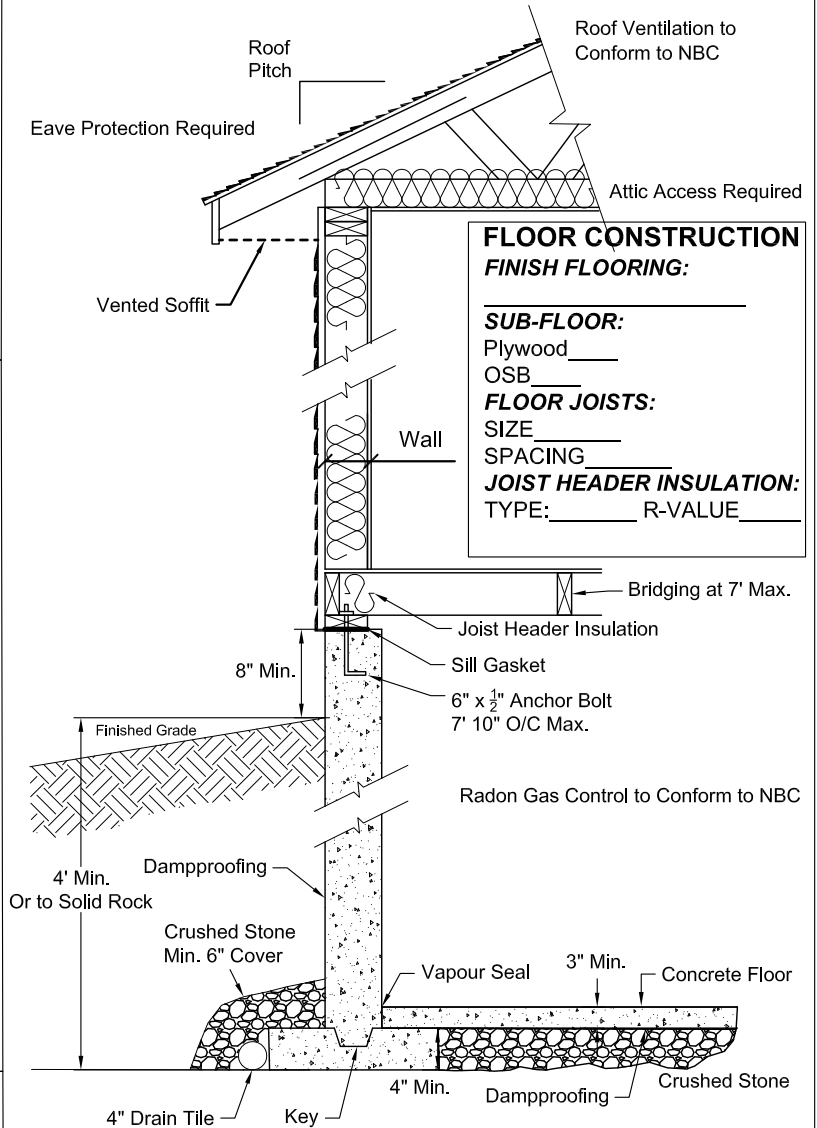
### FOUNDATION

FOUNDATION WALL THICKNESS: \_\_\_\_\_

FOOTING WIDTH: \_\_\_\_\_

BELOW GRADE WALL ASSEMBLY: \_\_\_\_\_

BELOW SLAB INSULATION: \_\_\_\_\_



#### FLOOR CONSTRUCTION FINISH FLOORING:

##### SUB-FLOOR:

Plywood \_\_\_\_\_

OSB \_\_\_\_\_

##### FLOOR JOISTS:

SIZE \_\_\_\_\_

SPACING \_\_\_\_\_

##### JOIST HEADER INSULATION:

TYPE: \_\_\_\_\_ R-VALUE \_\_\_\_\_

*Drawings are not to scale*

## TYPICAL WALL SECTION (EXTERIOR) - TWO STOREY (RESIDENTIAL)

### Roof Construction

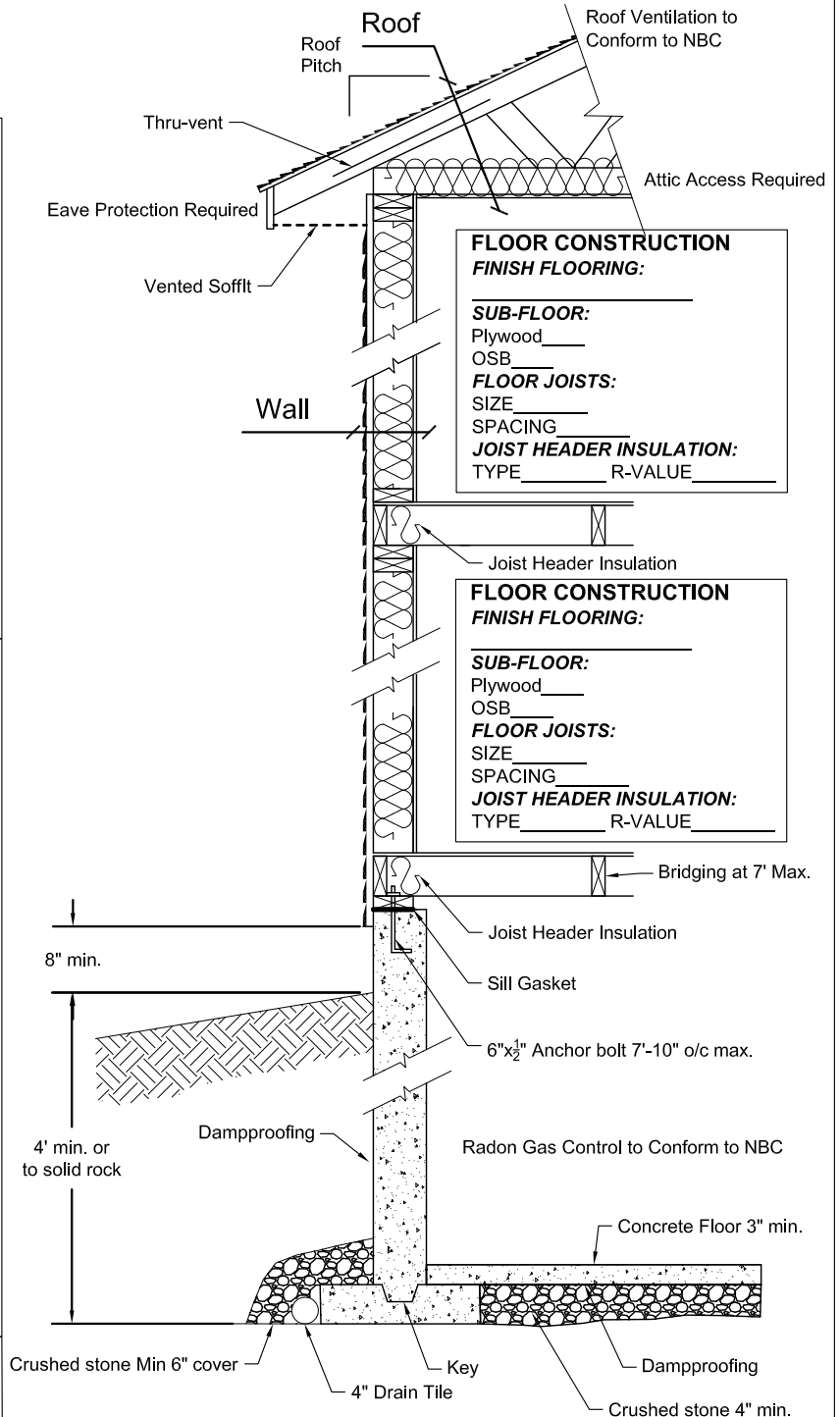
FINISH: Shingles \_\_\_ Metal \_\_\_ Other: \_\_\_\_\_  
 SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards: \_\_\_\_\_  
 Thickness: \_\_\_\_\_  
 TRUSSES: Yes \_\_\_ No \_\_\_ (If no enter rafter info)  
 RAFTERS: Size \_\_\_\_\_ Spacing \_\_\_\_\_  
 INSULATION: Type: \_\_\_\_\_ R Value \_\_\_\_\_  
 VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_  
 CEILING FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_  
 Type: \_\_\_\_\_ Thickness \_\_\_\_\_

### Wall Construction

EXTERIOR CLADDING:  
 Vinyl \_\_\_ Metal \_\_\_ Clapboard \_\_\_ Other: \_\_\_\_\_  
 HOUSE WRAP:  
 Tyvek \_\_\_ Tytar \_\_\_ Tarpaper \_\_\_ Other: \_\_\_\_\_  
 EXTRUDED POLYSTYRENE \_\_\_\_\_  
 EXPANDED POLYSTYRENE \_\_\_\_\_ (If Applicable)  
 SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards \_\_\_\_\_  
 Thickness: \_\_\_\_\_  
 WALL STUD: Size \_\_\_\_\_ Spacing \_\_\_\_\_  
 INSULATION: Type \_\_\_\_\_ R-Value \_\_\_\_\_  
 VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_  
 INTERIOR FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_  
 Type \_\_\_\_\_ Thickness \_\_\_\_\_

### FOUNDATION

FOUNDATION WALL THICKNESS: \_\_\_\_\_  
 FOOTING WIDTH: \_\_\_\_\_  
 BELOW GRADE WALL ASSEMBLY: \_\_\_\_\_  
 \_\_\_\_\_  
 BELOW SLAB INSULATION: \_\_\_\_\_



## TYPICAL WALL SECTION (POST & BEAM) - SINGLE STOREY (RESIDENTIAL)

### Roof Construction

FINISH: Shingles \_\_\_ Metal \_\_\_ Other: \_\_\_\_\_

SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards: \_\_\_\_\_

Thickness: \_\_\_\_\_

TRUSSES: Yes \_\_\_ No \_\_\_ (If no enter rafter info)

RAFTERS: Size \_\_\_\_\_ Spacing \_\_\_\_\_

INSULATION: Type: \_\_\_\_\_ R Value \_\_\_\_\_

VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_

CEILING FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_

Type: \_\_\_\_\_ Thickness \_\_\_\_\_

### Wall Construction

EXTERIOR CLADDING:

Vinyl \_\_\_ Metal \_\_\_ Clapboard \_\_\_ Other: \_\_\_\_\_

HOUSE WRAP:

Tyvek \_\_\_ Typar \_\_\_ Tarpaper \_\_\_ Other: \_\_\_\_\_

EXTRUDED POLYSTYRENE \_\_\_\_\_

EXPANDED POLYSTYRENE \_\_\_\_\_ (If Applicable)

SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards \_\_\_\_\_

Thickness: \_\_\_\_\_

WALL STUD: Size \_\_\_\_\_ Spacing \_\_\_\_\_

INSULATION: Type \_\_\_\_\_ R-Value \_\_\_\_\_

VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_

INTERIOR FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_

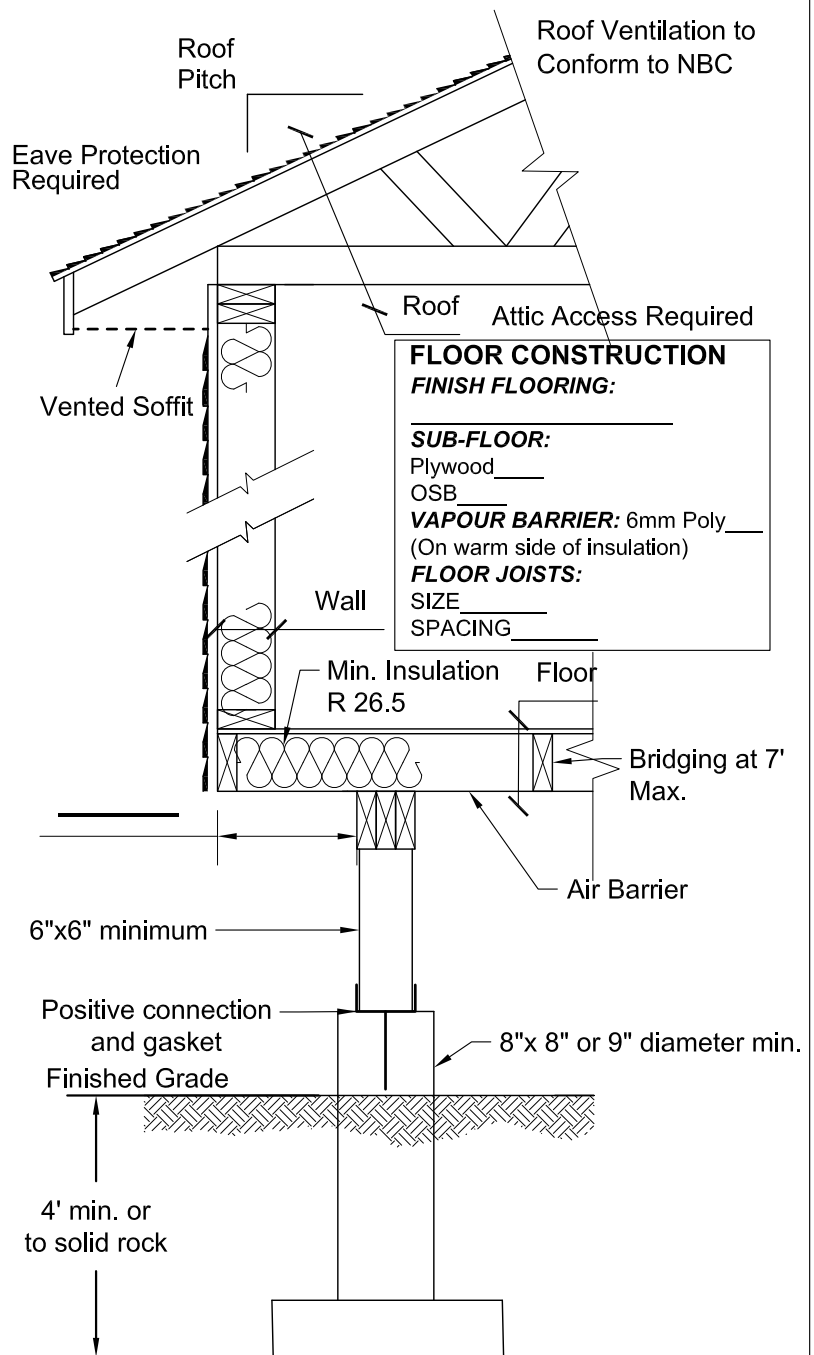
Type \_\_\_\_\_ Thickness \_\_\_\_\_

### FOUNDATION

BEAM 3 @ 2" X \_\_\_\_\_

POST SIZE (6" x 6" min.): \_\_\_\_\_

FOOTING WIDTH: \_\_\_\_\_

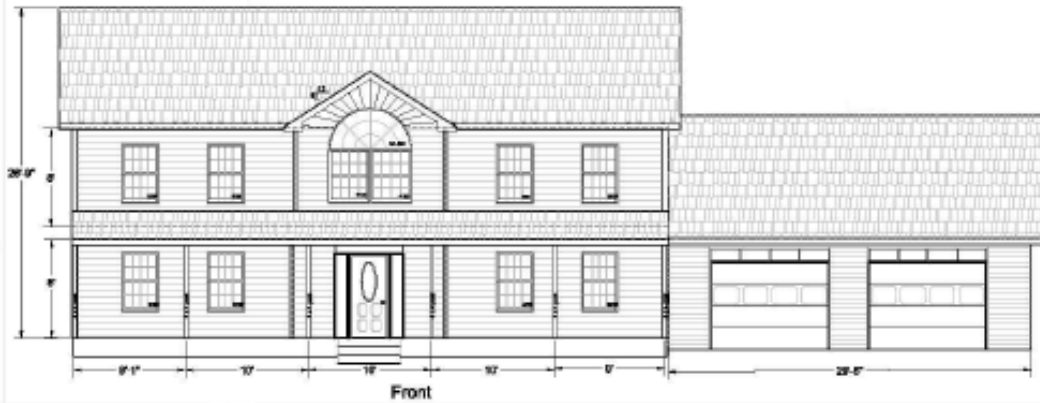


**FLOOR CONSTRUCTION**  
**FINISH FLOORING:**  
\_\_\_\_\_  
**SUB-FLOOR:**  
Plywood \_\_\_  
OSB \_\_\_  
**VAPOUR BARRIER:** 6mm Poly \_\_\_  
(On warm side of insulation)  
**FLOOR JOISTS:**  
SIZE \_\_\_\_\_  
SPACING \_\_\_\_\_

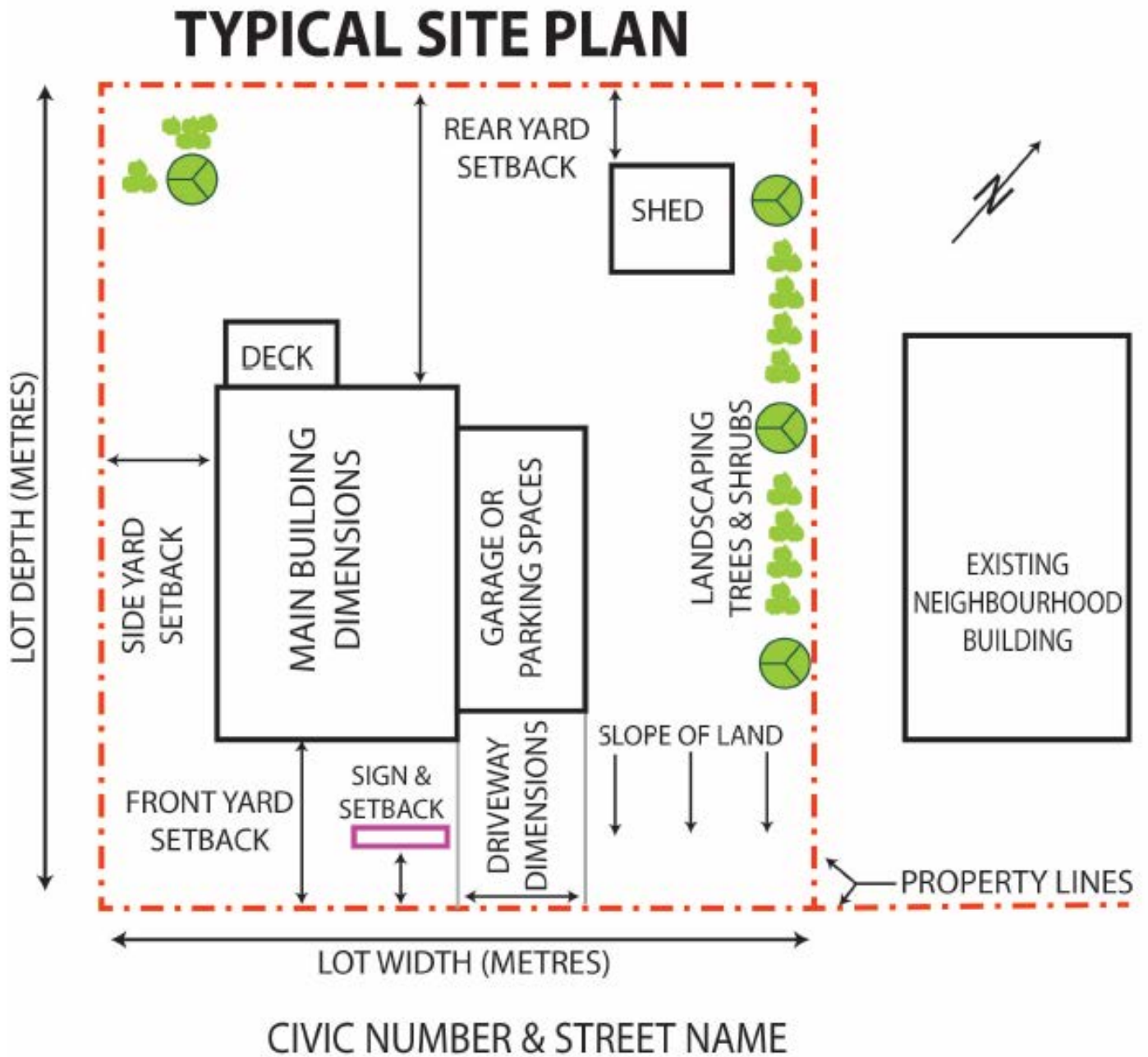
*Drawings are not to scale*



# ELEVATIONS EXAMPLE



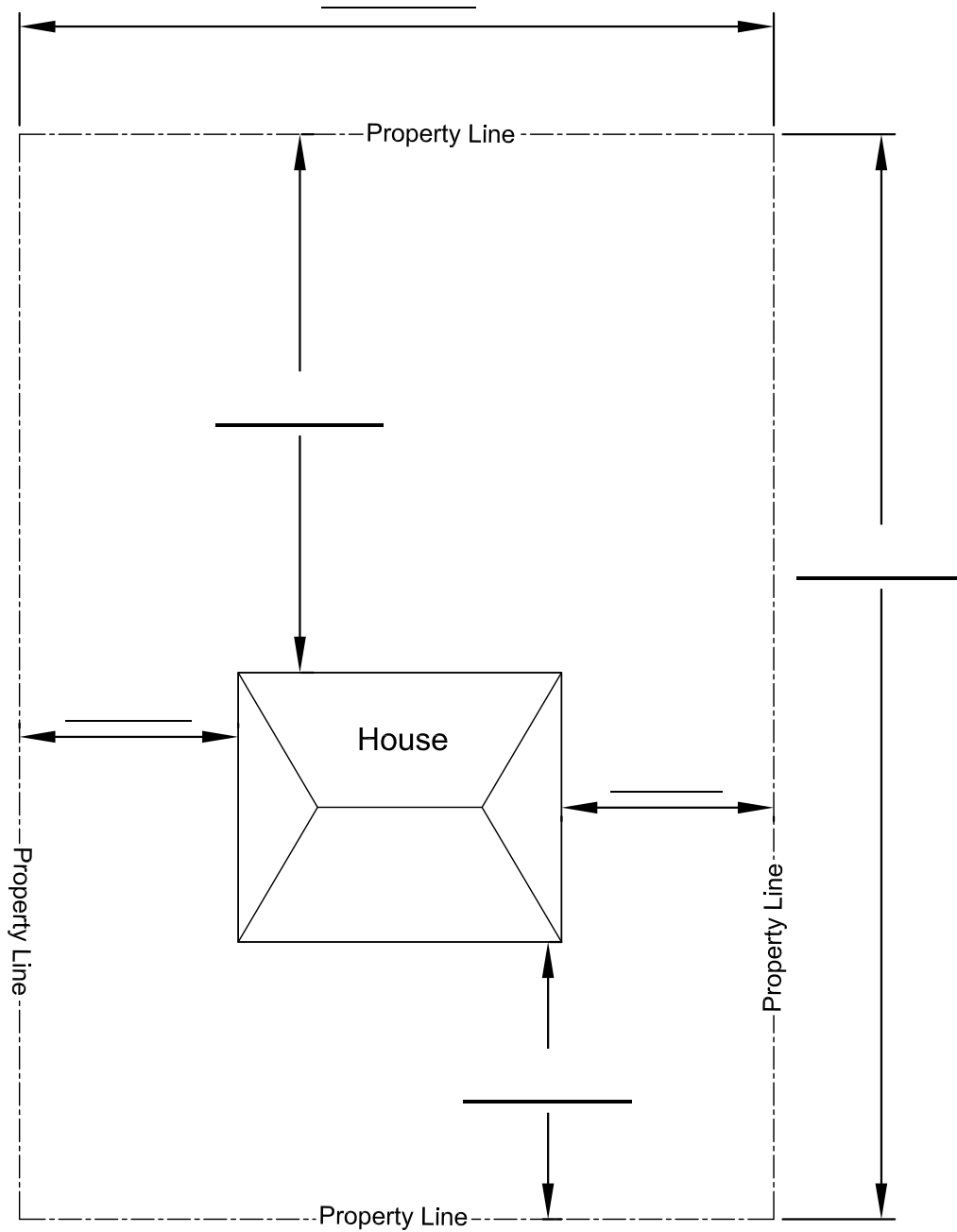
# TYPICAL SITE PLAN EXAMPLE





# TYPICAL SITE PLAN

(ADD ACCESSORY BUILDING(S) and/or DECK(S) AS NEEDED)



Street Name : \_\_\_\_\_ *Drawings are not to scale*

(If the lot is a corner lot then indicate the intersecting street)

Number of Units : \_\_\_\_\_

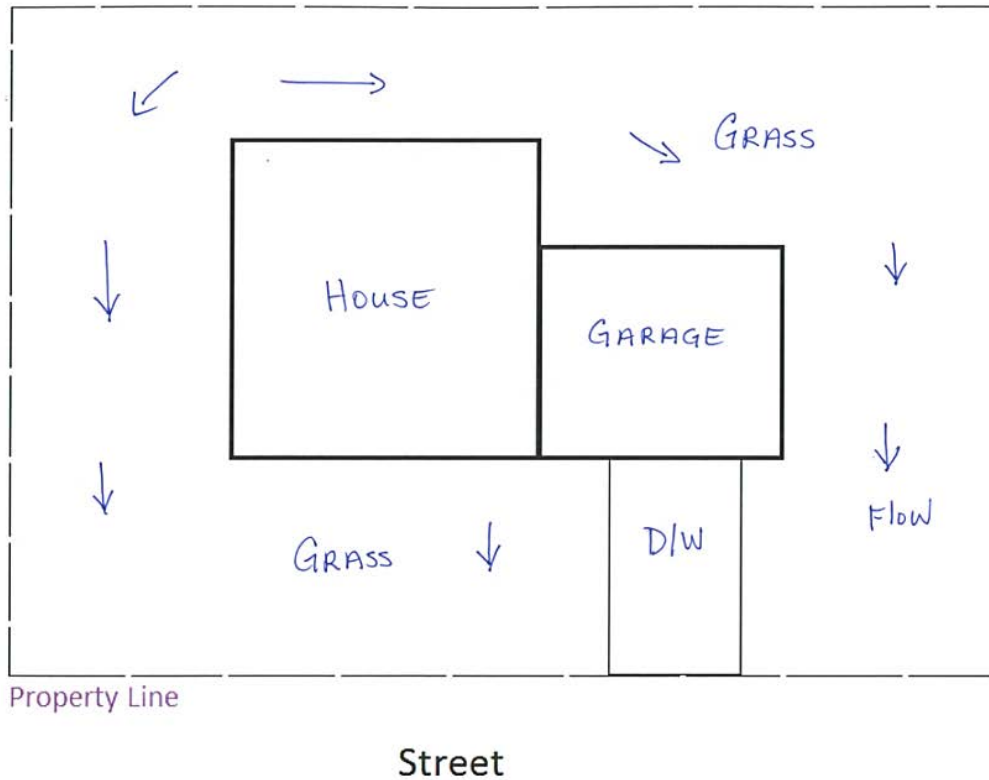
**LOT DRAINAGE SKETCH**

Sketch must include direction of Stormwater flow and location and grade of Surface Drainage Features. (*Building By-law; Section 9(4)*)

**APPLICANT/OWNER:** \_\_\_\_\_

**PID #:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_  
\_\_\_\_\_





## LOT DRAINAGE SKETCH

Sketch must include direction of Stormwater flow and location and grade of Surface Drainage Features. (*Building By-law; Section 9(4)*)

**APPLICANT/OWNER:** \_\_\_\_\_

**PID #:** \_\_\_\_\_

**ADDRESS:** \_\_\_\_\_  
\_\_\_\_\_

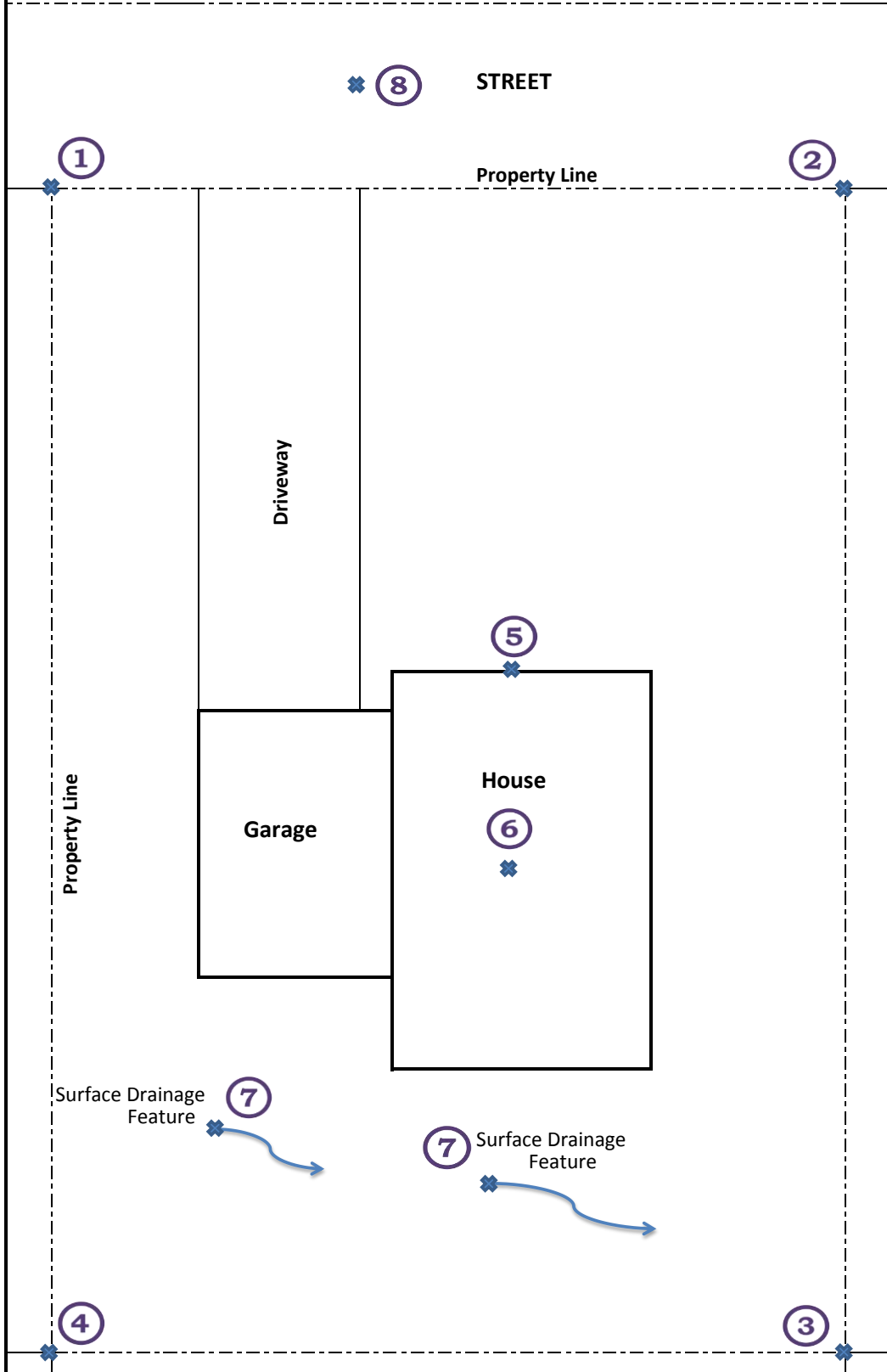


Property Line

Property Line



SAMPLE SKETCH



RESIDENTIAL ROUGH GRADING PLAN

APPLICANT/OWNER: \_\_\_\_\_

PID #: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

APPROVED SUBDIVISION/LOT GRADING PLAN: \_\_\_\_\_

**INFORMATION REQUIRED:**  
 All elevations to be geodetic;  
 All elevations to be in metres;  
 All elevations to be to three decimal places.  
 Benchmark and Reference Location:

\_\_\_\_\_  
 \_\_\_\_\_

		Approved Grading Plan Elevation (metres)	Building Permit Application Proposed Elevation (metres)	Occupancy Permit Approval As-Built Elevation (metres)	Difference (Proposed vs As-Built) (+/- 100mm)
1	Elevation at the corner of the Lot				
2	Elevation at the corner of the Lot				
3	Elevation at the corner of the Lot				
4	Elevation at the corner of the Lot				
5	Top of foundation wall elevation				
6	Basement floor elevation				
7	Location and grade of all Surface Drainage Features (swales, depressions in finished grades, etc.)				
7	Location and grade of all Surface Drainage Features				
8	Elevation at centreline of Street				

PROFESSIONAL ENGINEER OR LAND SURVEYOR CERTIFICATION:

Company Information:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

In accordance with the Saint John Building By-law,

I, \_\_\_\_\_  
*print name*

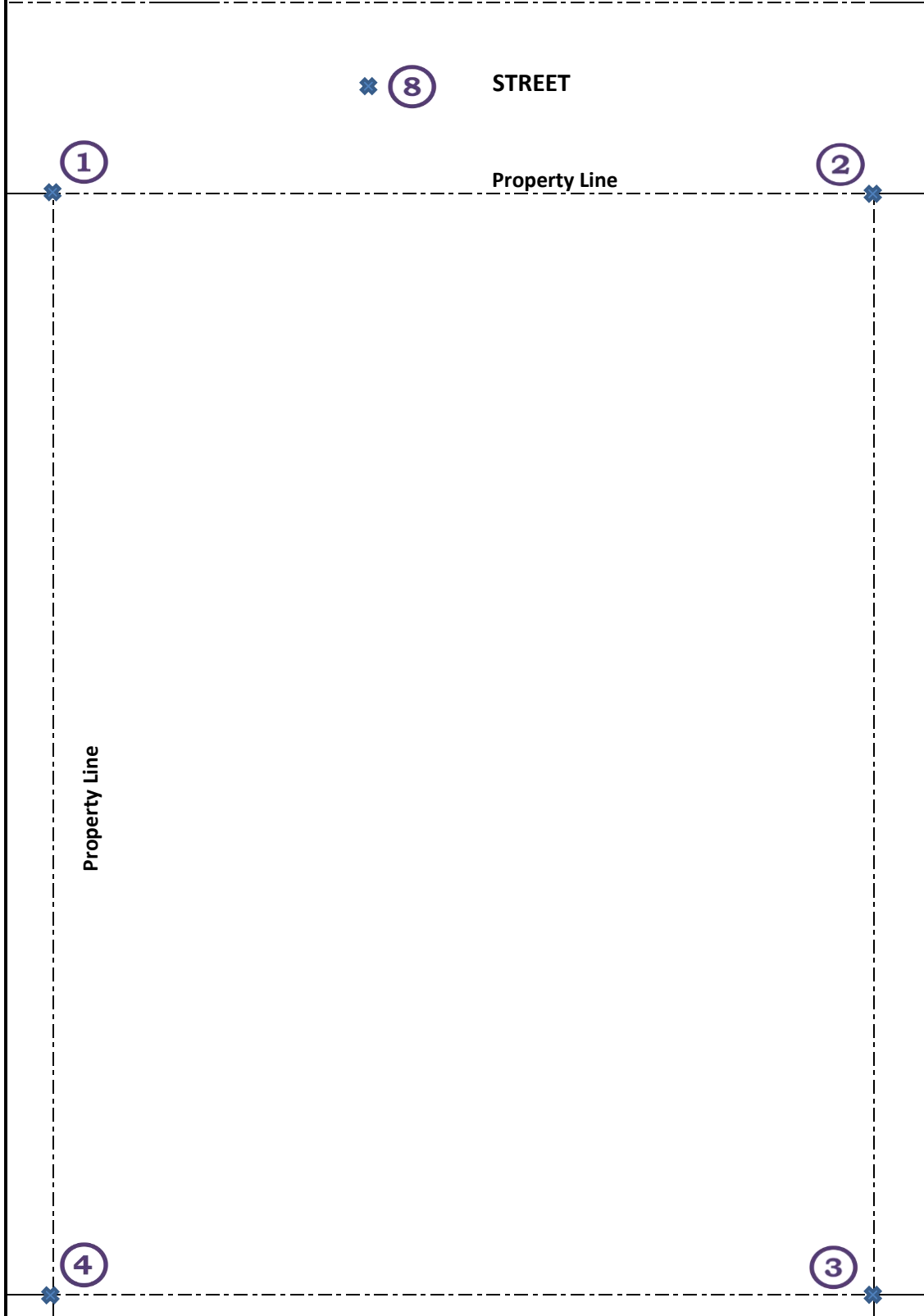
confirm the rough grading of the Lot is in general conformance with the Approved Grading Plan and within the accepted tolerance.



Professional Seal



**SKETCH**



**RESIDENTIAL ROUGH GRADING PLAN**

APPLICANT/OWNER: \_\_\_\_\_

PID #: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

APPROVED SUBDIVISION/LOT GRADING PLAN: \_\_\_\_\_

**INFORMATION REQUIRED:**

All elevations to be geodetic;  
All elevations to be in metres;  
All elevations to be to three decimal places.  
Benchmark and Reference Location:

\_\_\_\_\_  
\_\_\_\_\_

		Approved Grading Plan Elevation (metres)	Building Permit Application Proposed Elevation (metres)	Occupancy Permit Approval As-Built Elevation (metres)	Difference (Proposed vs As-Built) (+/- 100mm)
1	Elevation at the corner of the Lot				
2	Elevation at the corner of the Lot				
3	Elevation at the corner of the Lot				
4	Elevation at the corner of the Lot				
5	Top of foundation wall elevation				
6	Basement floor elevation				
7	Location and grade of all Surface Drainage Features (swales, depressions in finished grades, etc.)				
7	Location and grade of all Surface Drainage Features				
8	Elevation at centreline of Street				

**PROFESSIONAL ENGINEER OR LAND SURVEYOR CERTIFICATION:**

**Company Information:**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

**In accordance with the Saint John Building By-law,**

I, \_\_\_\_\_  
*print name*

confirm the rough grading of the Lot is in general conformance with the Approved Grading Plan and within the accepted tolerance.



Professional Seal

**INSTRUCTIONS**

Complete the following chart with the construction details for the project.

**Table 1** - Identify each different building envelope construction and indicate the matching assembly number from those available (see Energy Efficiency Assemblies Guide for details)

<http://www.saintjohn.ca/site/media/SaintJohn/Assemblies%20Information%20Binder.pdf>.

If you will be providing your own assembly, a blank template is available for you to complete. A cross section of the assembly must be provided.

**Table 2** - Identify the windows and doors in the construction, along with the model and either the ER value, the U value or the Energy Star Zone letter. **(Leave all labels on the windows for final pre-occupancy inspection.)**

**Table 3** – Identify the mechanical equipment of the building including the equipment’s associated efficiency information. A form for ventilation must also be submitted (see page 3).

**Table 4** - Only needs to be completed if trade-offs are being used.

**PROPERTY ADDRESS:**

<b>1.</b>	<b>Type of Assembly</b>	<b>Assembly number</b>	<b>RSI or R Value</b>	<b>For office use</b>
<b>Building Envelope</b>	<b>Ceilings</b>			
	Ceilings (below attic)			
	Ceiling (cathedral and flat roof – if applicable)			
	Ceilings tray			
	<b>Exterior Walls &amp; location</b>			
	Walls			
	Walls			
	Walls			
	Walls			
	Shared Garage Wall (if applicable)			
	<b>Joist Headers</b>			
	Floor Joist Cavity			
	<b>Basement Walls</b>			
	Basement wall			
	Basement wall			
<b>Floors</b>				
Slab				

City of Saint John  
Prescriptive Energy Efficiency Design Detail

<b>2.</b>	In floor heating	Y/N		
	<b>Model</b>	<b>Rating</b> (ER, U or Energy Star)	<b>Model</b>	<b>Rating</b> (ER, U or Energy Star)
<b>Windows, Doors and Skylights</b>	<b>Windows</b>			
	<b>Doors</b>			
	<b>Skylights</b>			

### 3. MECHANICAL SYSTEMS

<b>Ventilation System</b>			
Manufacturer		Model	
Ventilation Rate		<b>See attached ventilation form to complete (next page)</b>	
<b>OFFICE USE</b>	Efficiency At 0°C	At -25°C	
<b>Heating &amp; Cooling Systems</b>			
<b>Main System</b>		Manufacturer	
Fuel Type		Model	
Heat Pump	AHRI #		
<b>OFFICE USE</b>	Efficiency		
<b>Secondary System</b>		Manufacturer	
Fuel Type		Model	
<b>OFFICE USE</b>	Efficiency		
<b>Other Systems</b>		Manufacturer	
Fuel Type		Model	
<b>OFFICE USE</b>	Efficiency		
<b>Hot Water System</b>			
Type		Manufacturer	
Fuel Type		Model	
<b>OFFICE USE</b>	Efficiency		

City of Saint John  
Prescriptive Energy Efficiency Design Detail

**Mechanical Ventilation Record – Residential** (based on HRAI form)

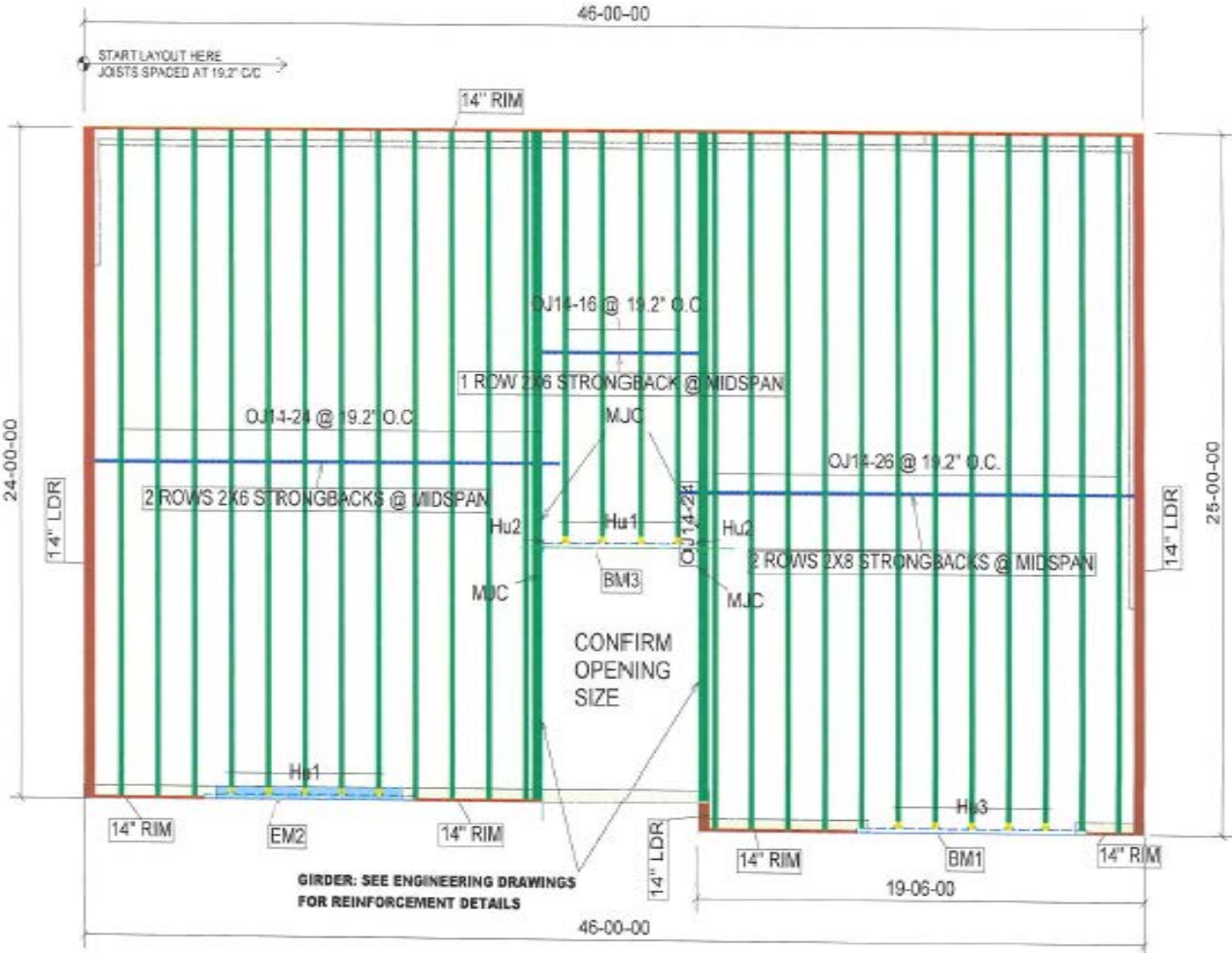
<b>Installer Information</b>			
Company			
Address			
Telephone		Cell	
Contact name			
HRAI # (if applicable)			
<b>Design method for Ventilation</b> NBC 2010 (9.32) <input type="checkbox"/> CSA F326 <input type="checkbox"/>			
<b>Ventilation Capacity Rate</b>			
Room Type	Quantity	@	Ventilation Capacity
Unfinished Basement		L/s	L/s
Master Bedroom		L/s	L/s
Bedrooms		L/s	L/s
Kitchen		L/s	L/s
Living Room		L/s	L/s
Dining Room		L/s	L/s
Bathroom		L/s	L/s
Other Habitable Rooms		L/s	L/s
		L/s	L/s
<b>Total Ventilation Capacity</b>			L/s
<b>Ventilation System</b>			
Manufacturer		Model	
Design Air Flow			
Additional Exhaust			
Bathroom Fan (quantity x air change rate L/s) =			
Kitchen Range Hood (quantity x air change rate L/s) =			
Other			



City of Saint John  
Prescriptive Energy Efficiency Design Detail

<b>4.</b>	<b>TRADE-OFFS</b>
	Only complete this form if you are using trade-offs. If you require additional room to complete the form, please attach to the application.
	<b>1. ABOVE GRADE EXTERIOR WALLS AND CEILINGS</b>
<b>Above Grade Exterior walls &amp; Ceilings</b>	Detail the trade offs
	<b>2. WINDOWS</b>
	Trade-offs for windows must be in the same orientation and have same window surface areas. Doors cannot be traded. Only fill out the detail for the elevation you are trading.
<b>Windows</b>	
	<b>3. BUILDINGS WITH LOW CEILINGS (9.36.2.11.4)</b>

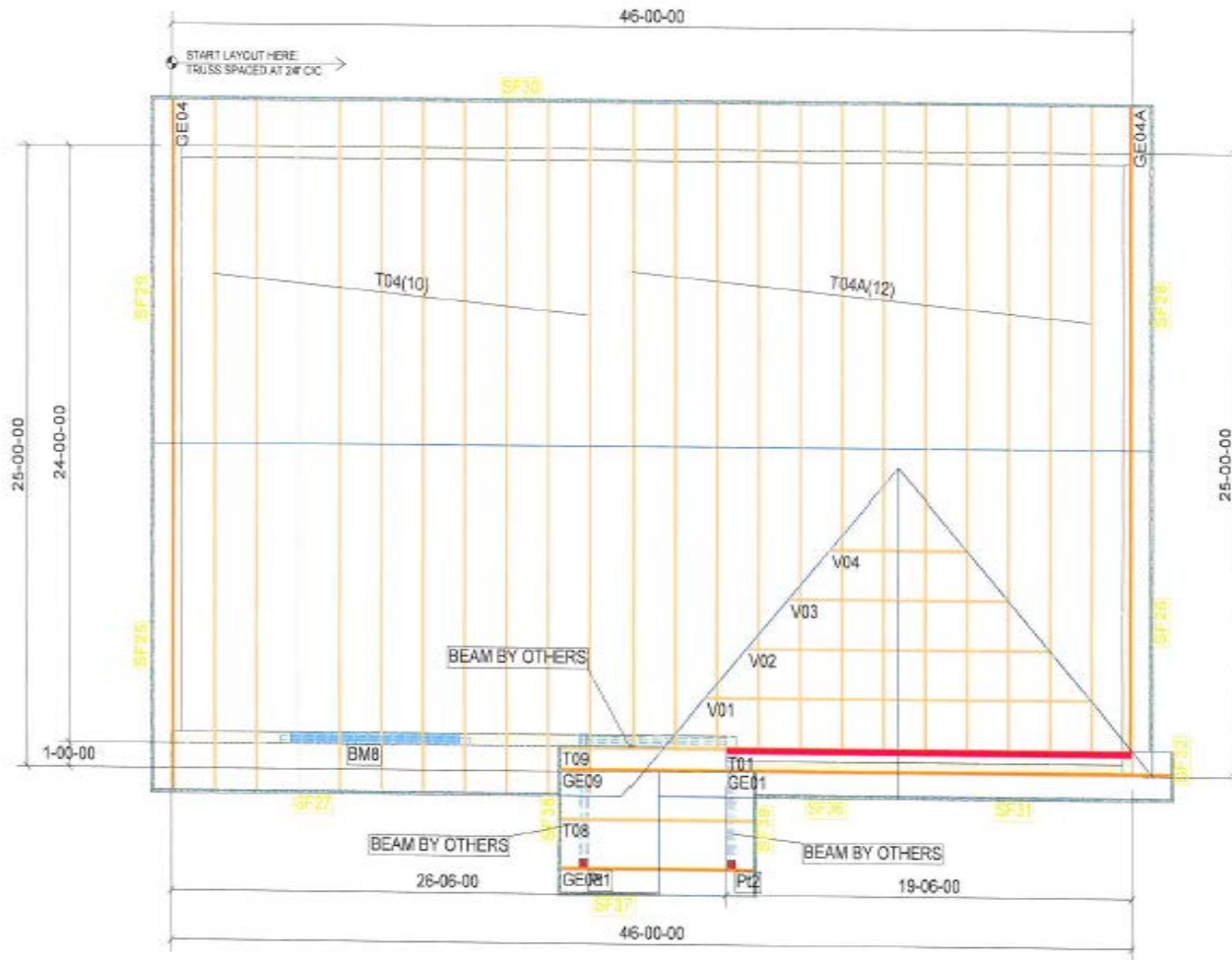
# FLOOR TRUSS LAYOUT EXAMPLE



**City of Saint John**  
 Growth and Community Development  
 (506)658-2911  
[onestop@sainjohn.ca](mailto:onestop@sainjohn.ca)



# ROOF TRUSS LAYOUT EXAMPLE



## City of Saint John

Growth and Community Development

(506)658-2911

[onestop@sainjohn.ca](mailto:onestop@sainjohn.ca)

*One Stop*  
**Development Shop**   
PLANNING BUILDING INFRASTRUCTURE SAINT JOHN

# ROOF TRUSS DRAWING EXAMPLE

