

Deck / 2nd Exit / Fire Escape / Wheelchair Ramp

Application Checklist & Submission Package



This document and all attachments are provided as assistance to persons seeking certain approvals and permits as required by various by-laws of the City of Saint John and other acts and regulations. Should there be a discrepancy between this document, and all attachments, and the associated by-law, act or regulations, the associated by-law, act or regulation shall prevail.

Building & Development Permit Application

Checklist required for a complete application for:

➤ Deck / 2nd Exit / Fire Escape / Wheelchair Ramp (Residential)

HERITAGE: If building is in a “Heritage Conservation Area” please contact the Heritage Officer for requirements, analysis and approval prior to applying for a building permit. All aspects of exterior work / alteration to the building require Heritage approval.

FLOOD RISK AREA: If the building is located within the Flood Risk Area, any alteration to the footprint of the building may require analysis and purchase of compensatory storage. Please contact us for Flood Risk Area Development approval prior to applying for a building permit.

Applicant must submit all that are applicable:

- Completed **Application Form** signed
- Permit Fee** and **Refundable Deposit**
- Site Plan**
 - size of lot
 - dimensions from each property line to deck
 - incorporate drainage sketch (showing storm water arrows indicating the direction of drainage / slope of lot) or provide professional engineer stamped certification letter
- Typical **Deck, Fire Escape or Wheelchair Ramp** drawing
- National Building Code Part 3 structures require stamped engineered drawings
- Other information** may also be required to complete the application. It is therefore strongly recommended that the applicant consult with City staff prior to submission.

NOTE: Deck blocks can be used if the residential NBC Part 9 deck “**is not**” attached to the building (floating deck) and the deck is no higher than 2 metres above grade.



LOCATION	CIVIC ADDRESS :		PID # :	
STAFF USE	HERITAGE AREA: Y / N INTENSIFICATION AREA: Y / N FLOOD RISK AREA: Y / N APPROVED GRADING PLAN: Y / N			
	APPLICATION #:		DATE RECEIVED:	
			RECEIVED BY:	
APPLICANT INFORMATION	APPLICANT	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
	CONTRACTOR	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
	OWNER	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
PRESENT USE:		PROPOSED USE:		
CHECK ALL THAT APPLY	BUILDING	PLANNING	INFRASTRUCTURE	HERITAGE
	<input type="checkbox"/> INTERIOR RENOVATION	<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> VARIANCE	<input type="checkbox"/> STREET EXCAVATION
	<input type="checkbox"/> EXTERIOR RENOVATION	<input type="checkbox"/> ACCESSORY BLDG	<input type="checkbox"/> PLANNING LETTER	<input type="checkbox"/> DRIVEWAY CULVERT
	<input type="checkbox"/> ADDITION	<input type="checkbox"/> POOL	<input type="checkbox"/> PAC APPLICATION	<input type="checkbox"/> DRAINAGE
	<input type="checkbox"/> DECK	<input type="checkbox"/> DEMOLITION	<input type="checkbox"/> COUNCIL APP	<input type="checkbox"/> WATER & SEWERAGE
	<input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> SIGN	<input type="checkbox"/> SUBDIVISION	<input type="checkbox"/> OTHER
	<input type="checkbox"/> MINIMUM STANDARDS	<input type="checkbox"/> OTHER	<input type="checkbox"/> OTHER	<input type="checkbox"/> HERITAGE DEVELOPMENT
			<input type="checkbox"/> HERITAGE SIGN	
			<input type="checkbox"/> HERITAGE INFILL	
			<input type="checkbox"/> HERITAGE DEMO	
			<input type="checkbox"/> OTHER	
DESCRIPTION OF WORK				

I consent to the City of Saint John sending to me commercial electronic messages, from time to time, regarding City initiatives and incentives.

General Collection Statement

This information is being collected in order for the City of Saint John to deliver an existing program / service; the collection is limited to that which is necessary to deliver the program / service. Unless required to do so by law, the City of Saint John will not share your personal information with any third party without your express consent.

The legal authority for collecting this information is to be found in the Municipalities Act and the Right to Information and Protection of Privacy Act. For further information or questions regarding the collection of personal information, please contact the Access & Privacy Officer:

City Hall Building
 15 Market Square Saint
 John, NB E2L 1E8
commonclerk@saintjohn.ca
 (506) 658-2862



I, the undersigned, hereby apply for the permit(s) or approval(s), indicated above for the work described on plans, submissions and forms herewith submitted. This application includes all relevant documentation necessary for the applied for permit(s) or approval(s). I agree to comply with the plans, specifications and further agree to comply with all relevant City By-laws and conditions imposed.

Applicant Name _____

Applicant Signature _____

Date _____



Schedule C: Fees

The application fees referred to in this By-law are as follows:

Building Permits \$120 + \$8.90/\$1,000 of the Estimate + \$2 per page of paper submitted over 279 millimetres x 420 millimetres in size.

Additional Service Fees	
First 2 Additional Inspections Tier 1	FREE
Any further additional inspections Tier 1	\$75
First 3 additional inspections Tier 2	FREE
Any further additional Inspections Tier 2	\$100
First 3 additional inspection Tier 3	FREE
Any further additional Inspections Tier 3	\$200
Additional Review Tier 1	\$75
Additional Review Tier 2	\$100
Additional Review Tier 3	\$100 per hour or portion of hour per occasion
Modification of application fee	\$8.90/\$1,000 of the difference of Estimate

Demolition Permits	Garage or accessory building associated with a Minor and Medium Residential	\$230
	All other	\$340
Relocations	All	The demolition fee and + \$8.90/\$1,000 of the Estimate



Schedule D: Assigned Estimate for Minor and Medium Residential

New construction		\$110 per square foot
Finished basements & additional floors		\$55 per square foot
Additions	With foundation	\$110 per square foot
	Crawlspace	Less 20%
	Post and Beam	Less 30%
Renovations		\$22 per square foot
Decks		\$15 per square foot
Garage (attached or detached)		\$40 per square foot
Siding	Vinyl	\$6.50 per square foot
	Aluminum/Steel	\$7.00 per square foot
	Shingles/Clapboards	\$5.00 per square foot
Notwithstanding the above, where the estimate of materials only is available		Twice the Estimate of materials
New construction		\$110 per square foot
Finished basements & additional floors		\$55 per square foot
Additions	With foundation	\$110 per square foot
	Crawlspace	Less 20%
	Post and Beam	Less 30%
Renovations		\$22 per square foot
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	Aluminum/Steel	\$7.00 per square foot
	Shingles/Clapboards	\$5.00 per square foot
Notwithstanding the above, where the estimate of materials only is available		Twice the Estimate of materials



Schedule E: Refundable Deposits

The refundable amount of the deposit for Building Permits are:

All permits	If less than \$2,000: \$0
Tier 1 permits	If Estimate is \$2,000 or more: \$200
Tier 2 permits	If Estimate is \$2,000 or more 1% of Estimate: a maximum of \$2,000 and a minimum of \$300
Tier 3 permits	If Estimate is \$2,000 or more 1% of Estimate: a maximum of \$5,000 and a minimum \$500

The refundable amount of the deposit for Demolition Permits are:

All	If Estimate is less than \$2,000: \$150 If Estimate is between \$2,000 and \$10,000: \$500 + 5% of Estimate If Estimate is over \$10,000: 10% of Estimate to a maximum of \$5,000.
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The amount of Refundable Deposit for Relocations are:

All	The applicable Demolition Permit and Building Permit deposit
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Schedule F: Tiers

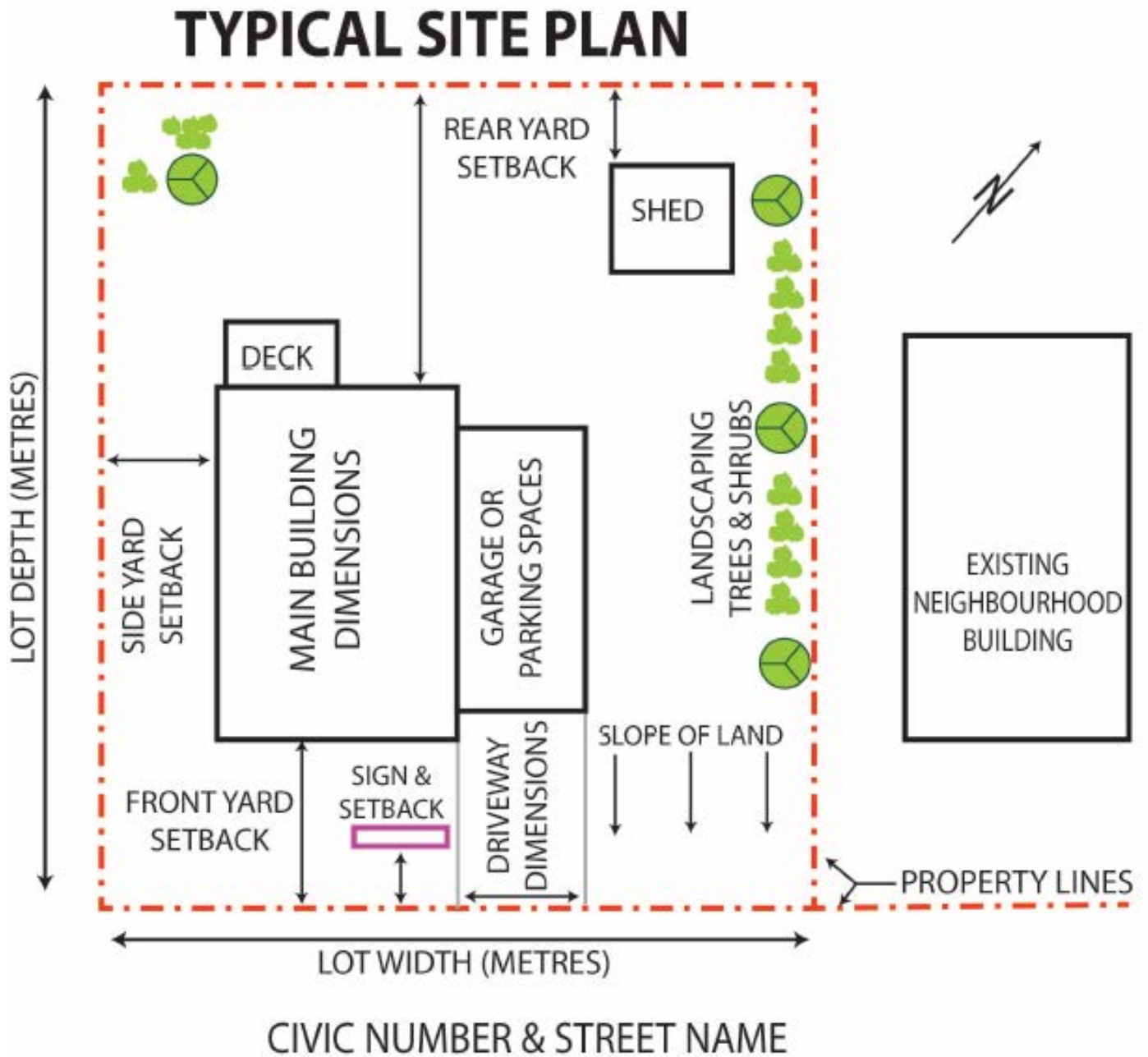
For the purposes of this schedule MICI means:
Multi-unit dwellings of 3 units and above;
Industrial buildings or structures;
Commercial buildings or structures;
Institutional buildings or structures;
And any other building or structure that is not a Minor and Medium Residential.

TIER 1
Minor and Medium Residential Window and Door
Minor and Medium Residential Deck
Minor and Medium Residential Siding
Minor and Medium Residential - Interior Renovations Value less than \$20,000
Minor and Medium Residential - Exterior Renovations Value less than \$20,000
Minor and Medium Residential - Accessory Building and Garage
All Demolitions
Electrical

TIER 2
Minor and Medium Residential – New
Minor and Medium Residential - New dwelling unit or secondary suite
Minor and Medium Residential - Addition
Minor and Medium Residential- Interior Renovations Value \$20,000 and greater
Minor and Medium Residential - Exterior Renovations Value \$20,000 and greater
MICI - Interior Renovations Value less than \$25,000
MICI - Exterior Renovations Value less than \$25,000
MICI - Change of Occupancy, no renovations
Mobile Home
Tents

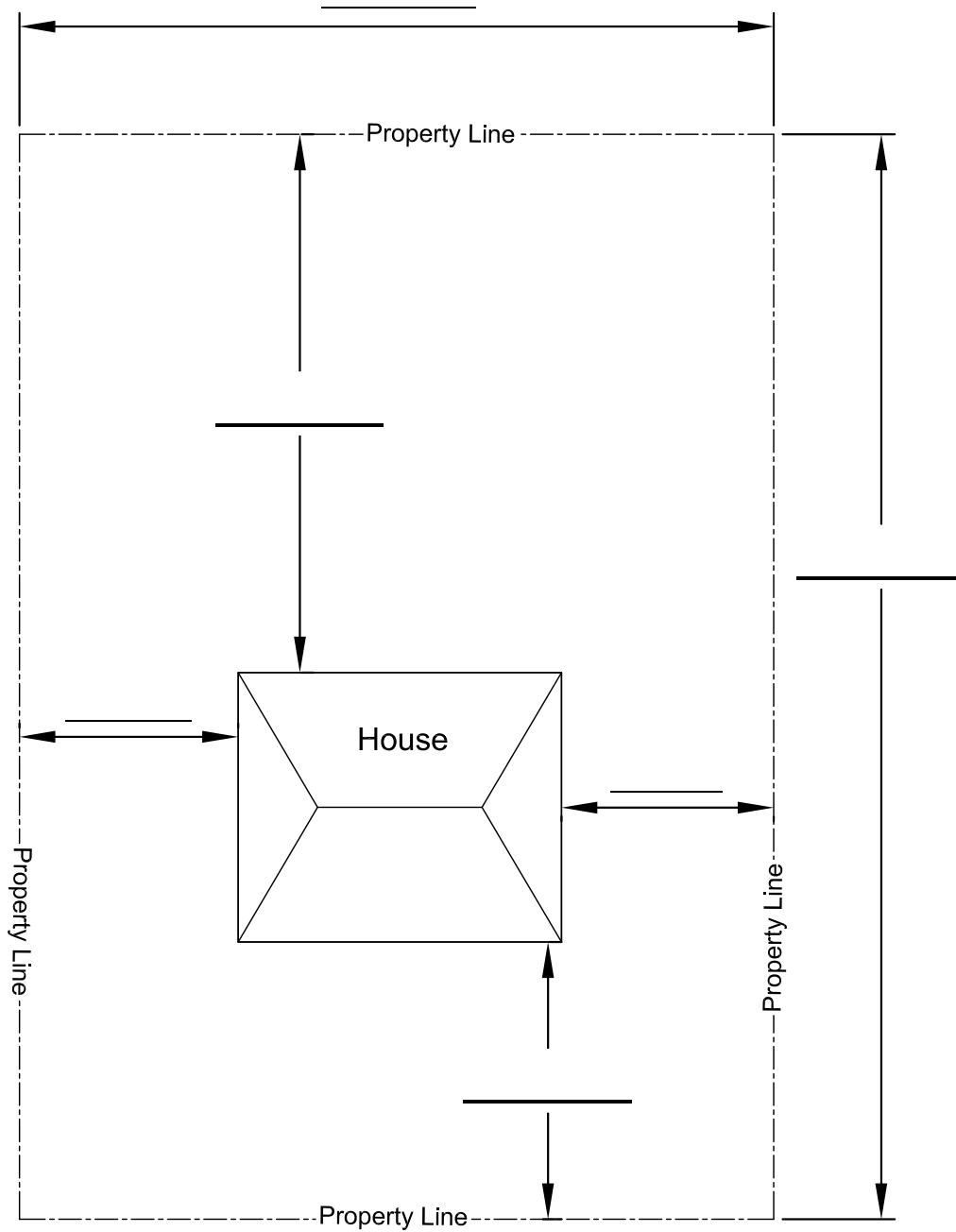
TIER 3
MICI - New
MICI - Addition
MICI - New dwelling unit
MICI - Interior Renovations Value \$25,000 and greater
MICI - Exterior Renovations Value \$25,000 and greater

TYPICAL SITE PLAN EXAMPLE



TYPICAL SITE PLAN

(ADD ACCESSORY BUILDING(S) and/or DECK(S) AS NEEDED)



Street Name : _____ *Drawings are not to scale*

(If the lot is a corner lot then indicate the intersecting street)

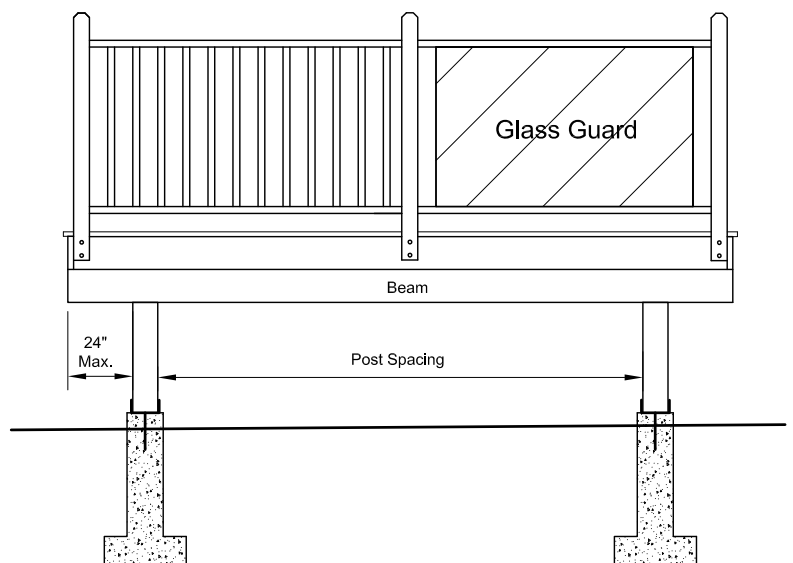
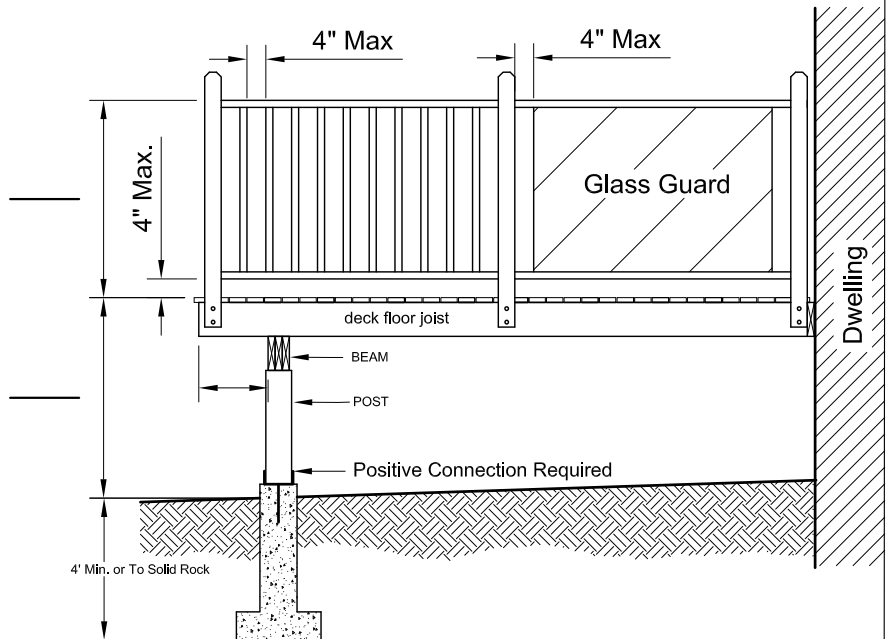
Number of Units : _____

CONSTRUCTION DETAILS FOR RESIDENTIAL ATTACHED DECKS

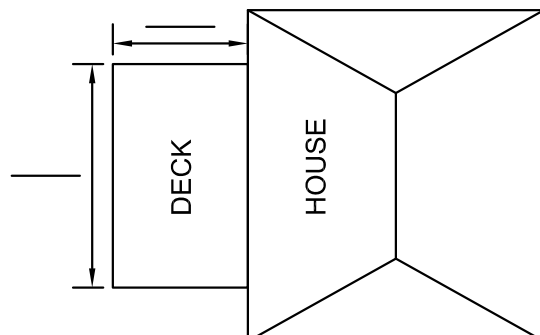
Construction details about the deck are required. Please complete the following details.

JOIST CANTILEVER			
Joist Size	Joist Spacing		
	12"	16"	24"
2x6	28	20	16
2x8	30	24	20
2x10	39	30	24

- Galvanized fasteners must be used
- All materials to be weather treated
- DECK BLOCKS ARE NOT ALLOWED FOR ATTACHED DECKS



Drawings are not to scale



DECK DETAILS

DIMENSIONS: _____ X _____

HEIGHT (GROUND TO FLOOR):

RAILING HEIGHT:

JOIST SIZE & SPACING:

JOIST SPAN:

JOIST CANTILEVER:

BEAM SIZE:

BEAM SPAN:

BEAM CANTILEVER:

POST SIZE:

POST SPACING:

FOUNDATION: SONO TUBE DIAMETER:

BIG FOOT

SCREW PILES

FOUNDATION DEPTH:

CONSTRUCTION DETAILS FOR RESIDENTIAL ATTACHED DECKS- 2 STOREY

Construction details about the deck are required. Please complete the following details.

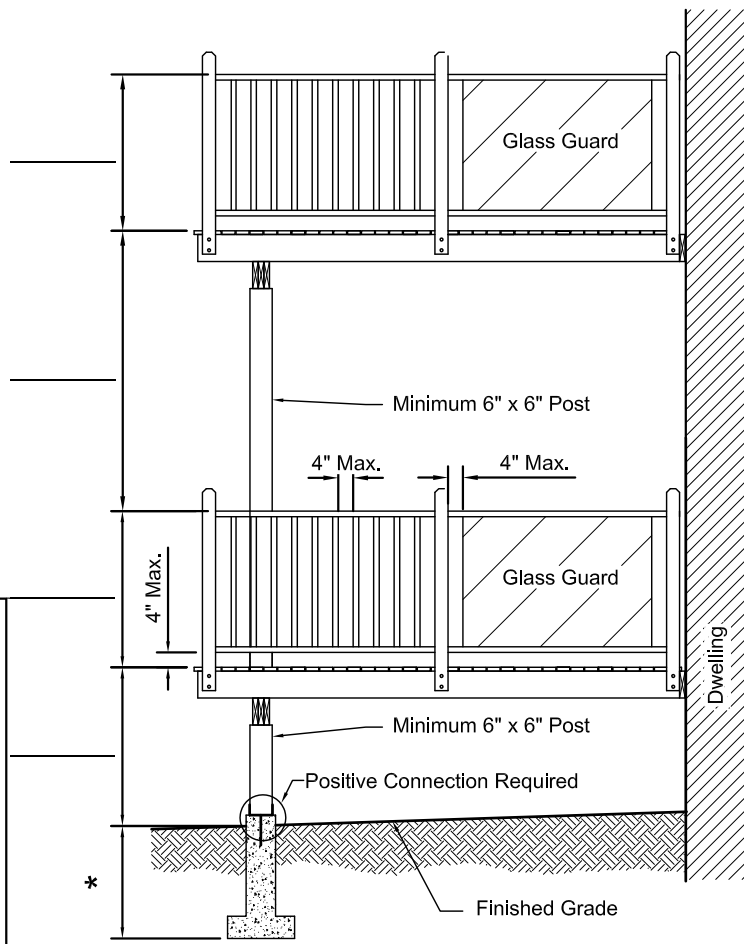
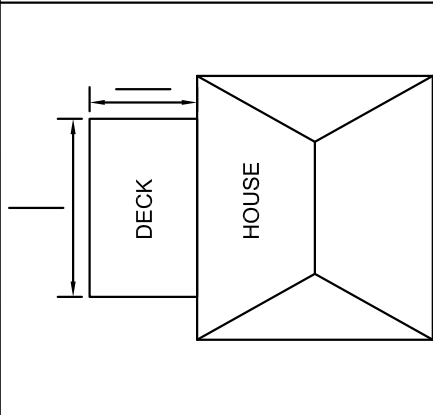
JOIST CANTILEVER

Joist Size	Joist Spacing		
	12"	16"	24"
2x6	28	20	16
2x8	30	24	20
2x10	39	30	24

- Galvanized fasteners must be used
- All materials to be weather treated
- DECK BLOCKS ARE NOT ALLOWED FOR ATTACHED DECKS

Post Size

- Sonotube Diameter _____
- Big Foot



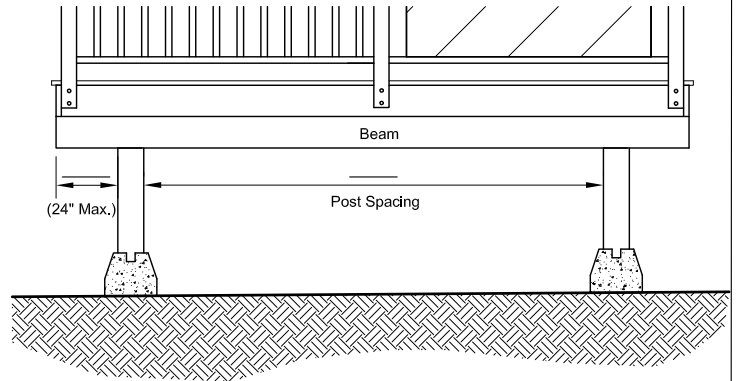
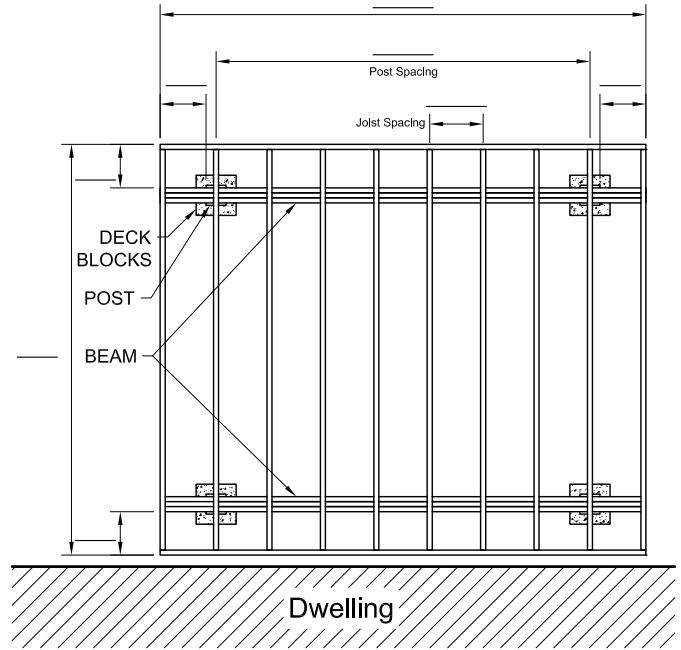
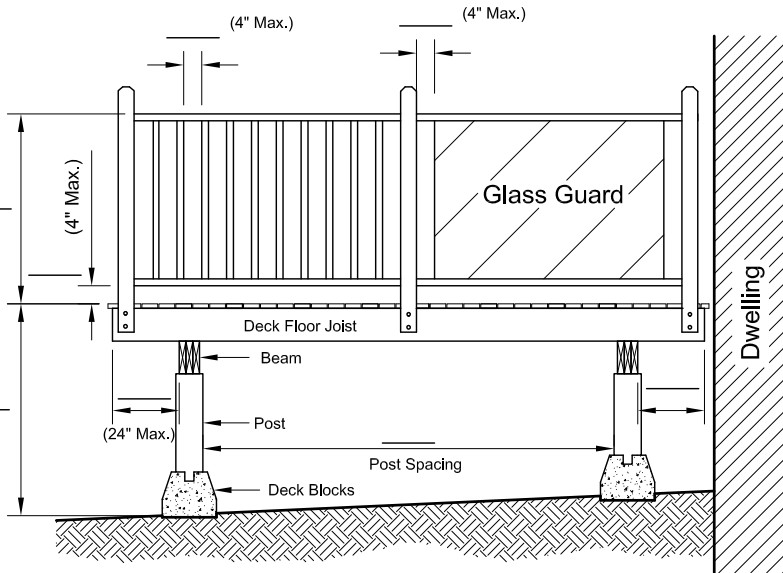
* 4' Minimum or to solid rock

Drawings are not to scale

UPPER DECK DETAILS	LOWER DECK DETAILS
DIMENSIONS: _____ X _____	DIMENSIONS:
HEIGHT (GROUND TO FLOOR):	HEIGHT (GROUND TO FLOOR):
RAILING HEIGHT:	RAILING HEIGHT:
JOIST SIZE & SPACING:	JOIST SIZE & SPACING:
JOIST SPAN:	JOIST SPAN:
JOIST CANTILEVER:	JOIST CANTILEVER:
BEAM SIZE:	BEAM SIZE:
BEAM SPAN:	BEAM SPAN:
BEAM CANTILEVER:	BEAM CANTILEVER:
POST SIZE (MIN. 6" X 6"):	POST SIZE (MIN. 6" X 6"):
POST SPACING:	POST SPACING:
FOUNDATION: <input type="checkbox"/> SONO TUBE DIAMETER: _____	FOUNDATION: <input type="checkbox"/> SONO TUBE DIAMETER:
<input type="checkbox"/> BIG FOOT	<input type="checkbox"/> BIG FOOT
<input type="checkbox"/> SCREW PILES	<input type="checkbox"/> SCREW PILES
FOUNDATION DEPTH:	FOUNDATION DEPTH:

CONSTRUCTION DETAILS FOR DETACHED DECKS (SINGLE DWELLING UNIT ONLY)

Construction details about the deck are required. Please complete the following details.



Drawings are not to scale

- Galvanized fasteners must be used
- All materials to be weather treated

DECK DETAILS

DIMENSIONS: _____ X _____

HEIGHT (GROUND TO FLOOR)(MAX. 1.8m):

RAILING HEIGHT:

JOIST SIZE & SPACING:

JOIST SPAN:

JOIST CANTILEVER:

BEAM SIZE:

BEAM SPAN:

BEAM CANTILEVER:

POST SIZE:

POST SPACING:

FOUNDATION: SONO TUBE DIAMETER:

BIG FOOT

SCREW PILES

DECK BLOCKS - DIMENSIONS:

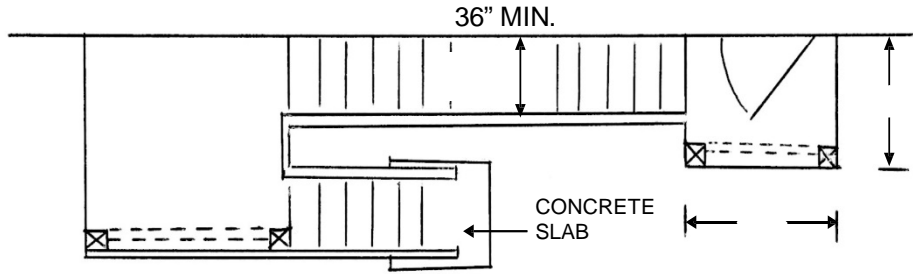
FOUNDATION DEPTH:

MAX. DISTANCE BETWEEN SUPPORT COLUMNS:

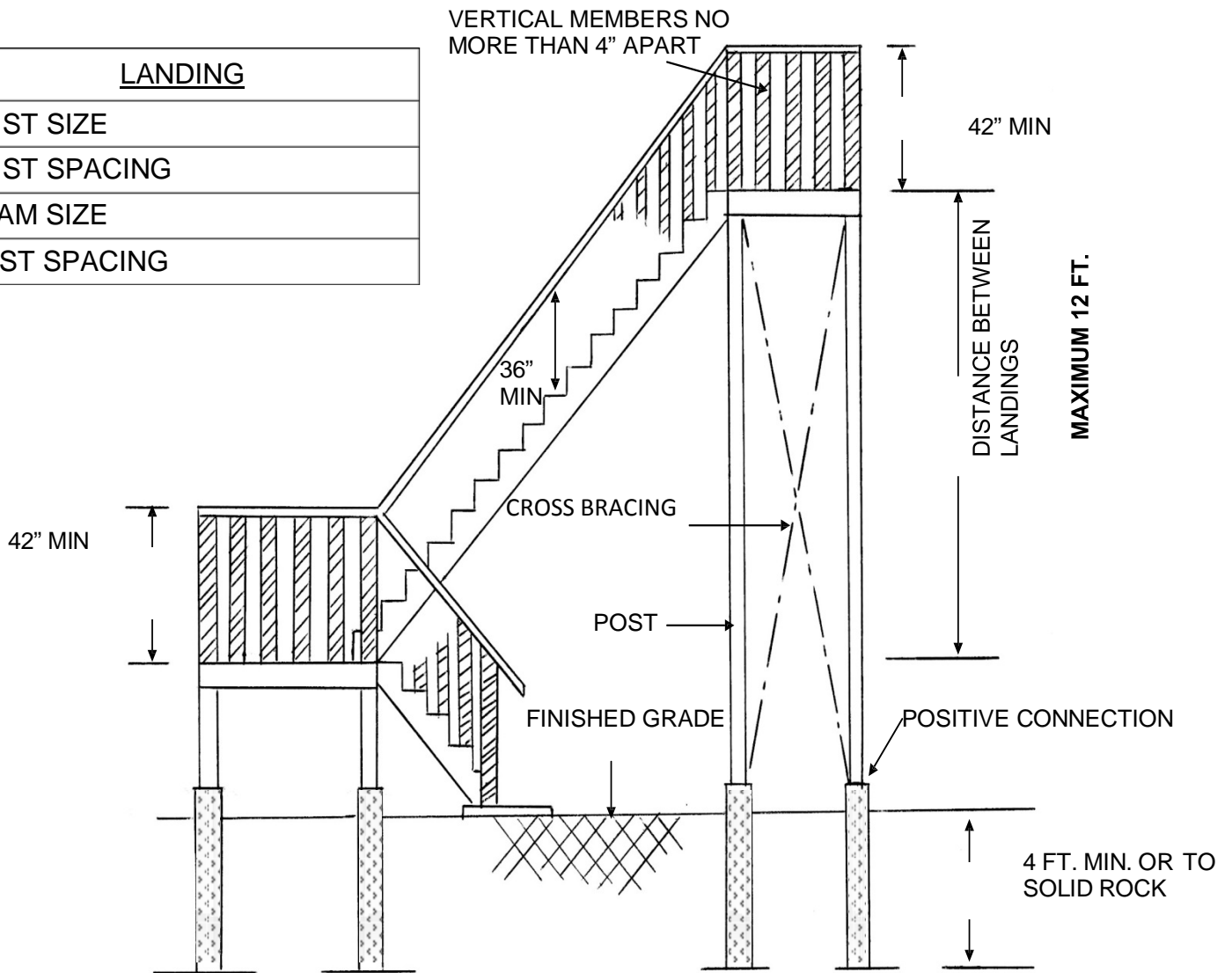
JOIST CANTILEVER

Joist Size	Joist Spacing		
	12"	16"	24"
2x6	28	20	16
2x8	30	24	20
2x10	39	30	24

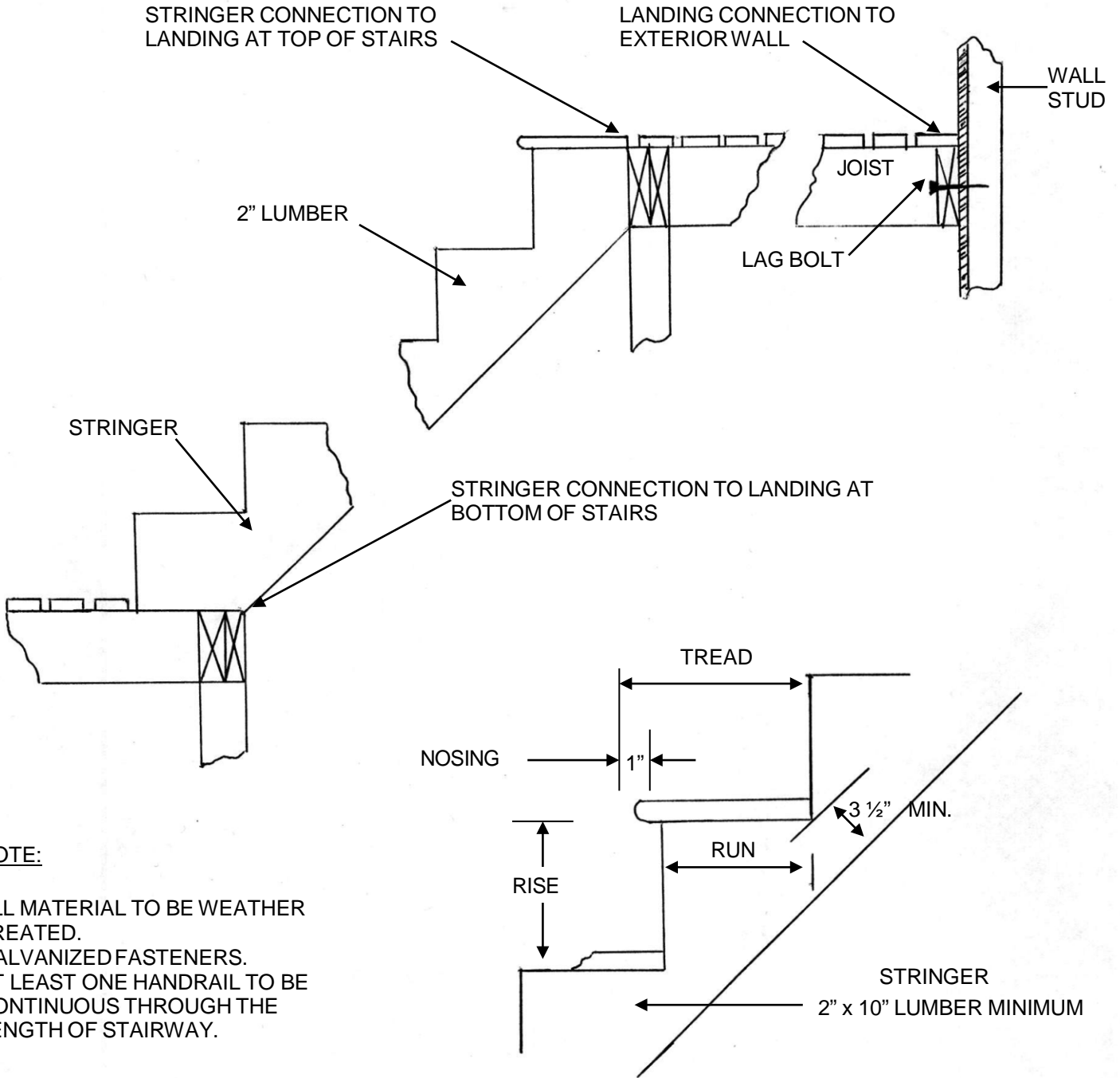
TYPICAL EXTERIOR EXIT STAIRS - Sheet 1 (Part 9 National Building Code – Residential)



<u>LANDING</u>
JOIST SIZE
JOIST SPACING
BEAM SIZE
POST SPACING



TYPICAL EXTERIOR EXIT STAIRS - Sheet 2 (Part 9 National Building Code – Residential)



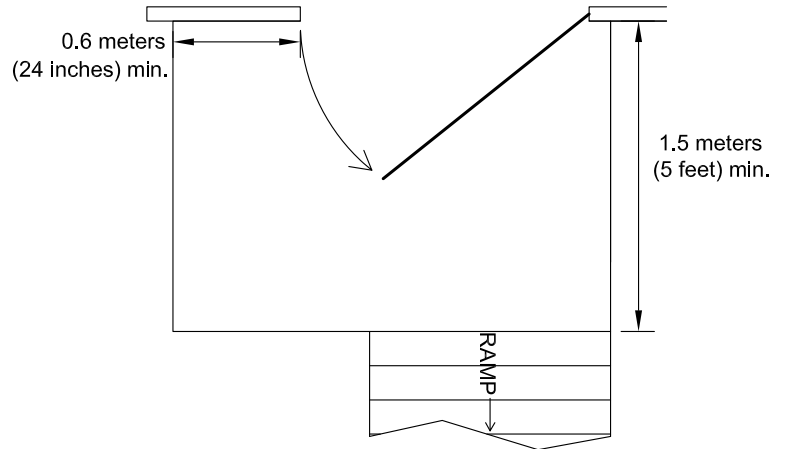
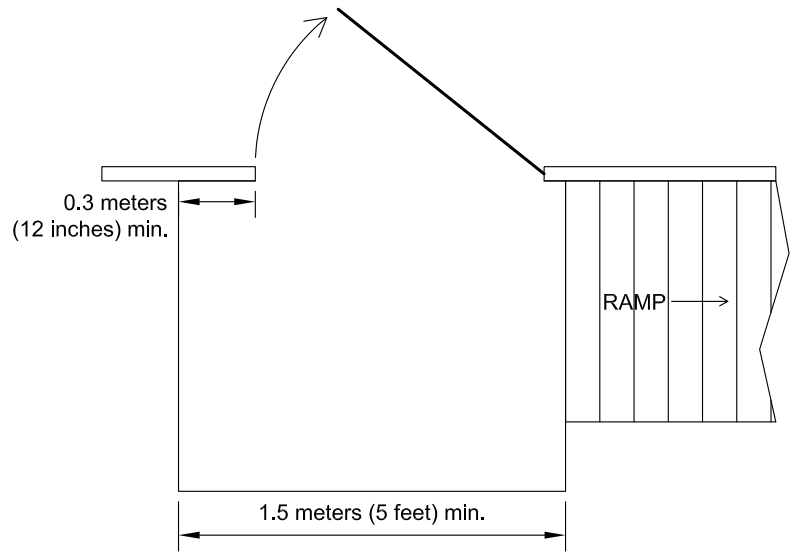
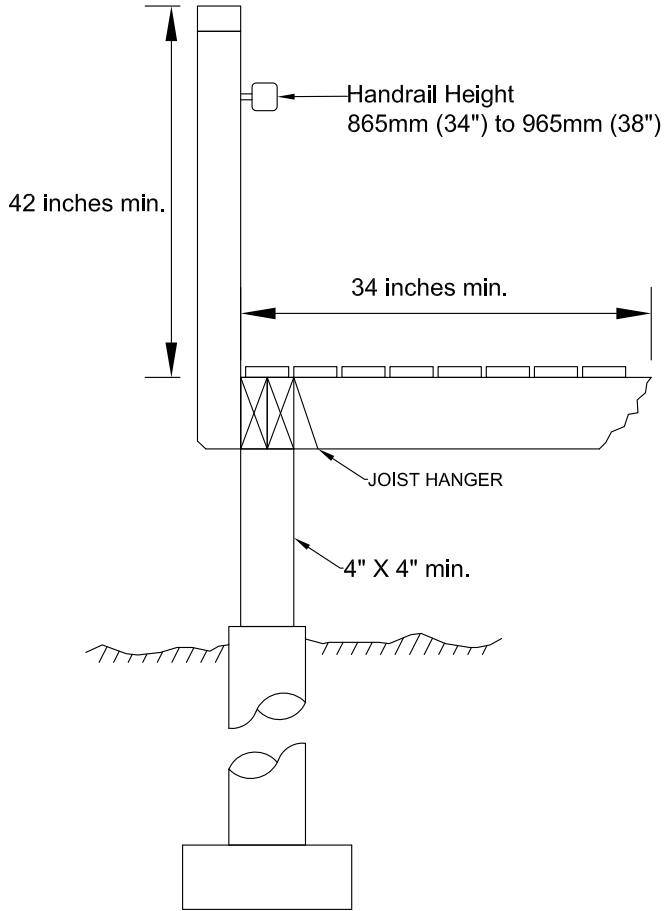
NOTE:

ALL MATERIAL TO BE WEATHER TREATED.
 GALVANIZED FASTENERS.
 AT LEAST ONE HANDRAIL TO BE CONTINUOUS THROUGH THE LENGTH OF STAIRWAY.

	RISE		RUN		TREAD	
	MAX	MIN	MAX	MIN	MAX	MIN
SINGLE UNIT	8"	5"	14"	8 1/4"	14"	9 1/4"
MULTIPLE UNITS	7"	5"	No limit	11"	No limit	11"



TYPICAL CONSTRUCTION DETAILS FOR WHEELCHAIR RAMPS



SLOPE: 1 : 12 (MINIMUM)

