

New Construction

Part 9 National Building Code

refers to Housing and Small Buildings that are 3 storeys or less in height, having a building area not more than 600 square metres and used for residential, business and personal service, mercantile and medium to low hazard industrial occupancies

Application Checklist & Submission Package



This document and all attachments are provided as assistance to persons seeking certain approvals and permits as required by various by-laws of the City of Saint John and other acts and regulations. Should there be a discrepancy between this document, and all attachments, and the associated by-law, act or regulations, the associated by-law, act or regulation shall prevail.

Building & Development Permit Application

Checklist required for a complete application for:

➤ **New Construction (Part 9 National Building Code)**

HERITAGE: If building is in a “Heritage Conservation Area” please contact the Heritage Officer for requirements, analysis and approval prior to applying for a building permit. All aspects of exterior work / alteration to the building require Heritage approval.

FLOOD RISK AREA: If the building is located within the Flood Risk Area, construction of a new building may require analysis and purchase of compensatory storage. Please contact us for Flood Risk Area Development approval prior to applying for a building permit.

Applicant must submit all that are applicable:

- Completed **Application Form** signed
- Permit Fee** and **Refundable Deposit**
- Floor Plans**
- Foundation Plans**
- Cross Section**
- Elevations** (all 4 sides)
- Deck Construction Details**
- Site Plan** showing
 - size of lot
 - dimensions from each property line to building(s)
 - driveway access / width
 - deck (if applicable)
 - landscaping (if applicable)
- Storm Water / Rough Grading Plan** (1 unit, 2 units or semi-detached residential building) if there is an approved Grading Plan previously approved for the subdivision / lot



- Storm Water Drainage Sketch** (1 unit, 2 units or semi-detached residential building) on site plan show storm water arrows indicating the direction of drainage / slope of lot (must include any ditches and swales).
- Storm Drainage Submission** (3 or more dwelling units, townhouses, commercial, industrial, institutional)
- Or
- Professional Engineer stamped certification letter** where practical
- Energy Efficiency Information** (our form filled in or info may be on drawings)
- Window** information
- Door** information
- Ventilation** information / **Mechanical** information (if applicable)
- Truss Layouts** (for roof and floor)
- If adding a 4th dwelling unit, Barrier Free Regulations apply / please contact the One Stop Development Shop for any questions
- Other information** may also be required to complete the application. It is therefore strongly recommended that the applicant consult with City staff prior to submission.
- You may be subject to **Fire Marshall / Saint John Fire Prevention** approval – please contact them directly for inquiries at (506)658-2962 or fireprevention@saintjohn.ca

Additional Permits which may be required:

- Water and Sewer Permit** (any alteration / connection to city water and/or sewer services)
- Excavation Permit** (any alteration within the street right of way)
 - o cutting the curb to create, relocate or widen driveway
 - o create / install culvert
 - o any water and sewer connection into the city water / sewer main



LOCATION	CIVIC ADDRESS :		PID # :	
STAFF USE	HERITAGE AREA: Y / N INTENSIFICATION AREA: Y / N FLOOD RISK AREA: Y / N APPROVED GRADING PLAN: Y / N			
	APPLICATION #:		DATE RECEIVED:	
			RECEIVED BY:	
APPLICANT INFORMATION	APPLICANT	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
	CONTRACTOR	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
	OWNER	EMAIL	PHONE	
	MAILING ADDRESS		POSTAL CODE	
PRESENT USE:		PROPOSED USE:		
CHECK ALL THAT APPLY	BUILDING	PLANNING	INFRASTRUCTURE	HERITAGE
	<input type="checkbox"/> INTERIOR RENOVATION	<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> VARIANCE	<input type="checkbox"/> STREET EXCAVATION
	<input type="checkbox"/> EXTERIOR RENOVATION	<input type="checkbox"/> ACCESSORY BLDG	<input type="checkbox"/> PLANNING LETTER	<input type="checkbox"/> DRIVEWAY CULVERT
	<input type="checkbox"/> ADDITION	<input type="checkbox"/> POOL	<input type="checkbox"/> PAC APPLICATION	<input type="checkbox"/> DRAINAGE
	<input type="checkbox"/> DECK	<input type="checkbox"/> DEMOLITION	<input type="checkbox"/> COUNCIL APP	<input type="checkbox"/> WATER & SEWERAGE
	<input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> SIGN	<input type="checkbox"/> SUBDIVISION	<input type="checkbox"/> OTHER
	<input type="checkbox"/> MINIMUM STANDARDS	<input type="checkbox"/> OTHER	<input type="checkbox"/> OTHER	<input type="checkbox"/> HERITAGE DEVELOPMENT
			<input type="checkbox"/> HERITAGE SIGN	
			<input type="checkbox"/> HERITAGE INFILL	
			<input type="checkbox"/> HERITAGE DEMO	
			<input type="checkbox"/> OTHER	
DESCRIPTION OF WORK				

I consent to the City of Saint John sending to me commercial electronic messages, from time to time, regarding City initiatives and incentives.

General Collection Statement

This information is being collected in order for the City of Saint John to deliver an existing program / service; the collection is limited to that which is necessary to deliver the program / service. Unless required to do so by law, the City of Saint John will not share your personal information with any third party without your express consent.

The legal authority for collecting this information is to be found in the Municipalities Act and the Right to Information and Protection of Privacy Act. For further information or questions regarding the collection of personal information, please contact the Access & Privacy Officer:

City Hall Building
 15 Market Square Saint
 John, NB E2L 1E8
commonclerk@saintjohn.ca
 (506) 658-2862



I, the undersigned, hereby apply for the permit(s) or approval(s), indicated above for the work described on plans, submissions and forms herewith submitted. This application includes all relevant documentation necessary for the applied for permit(s) or approval(s). I agree to comply with the plans, specifications and further agree to comply with all relevant City By-laws and conditions imposed.

 Applicant Name

 Applicant Signature

 Date



Schedule C: Fees

The application fees referred to in this By-law are as follows:

Building Permits \$120 + \$8.90/\$1,000 of the Estimate + \$2 per page of paper submitted over 279 millimetres x 420 millimetres in size.

Additional Service Fees	
First 2 Additional Inspections Tier 1	FREE
Any further additional inspections Tier 1	\$75
First 3 additional inspections Tier 2	FREE
Any further additional Inspections Tier 2	\$100
First 3 additional inspection Tier 3	FREE
Any further additional Inspections Tier 3	\$200
Additional Review Tier 1	\$75
Additional Review Tier 2	\$100
Additional Review Tier 3	\$100 per hour or portion of hour per occasion
Modification of application fee	\$8.90/\$1,000 of the difference of Estimate

Demolition Permits	Garage or accessory building associated with a Minor and Medium Residential	\$230
	All other	\$340
Relocations	All	The demolition fee and + \$8.90/\$1,000 of the Estimate



Schedule D: Assigned Estimate for Minor and Medium Residential

New construction		\$110 per square foot
Finished basements & additional floors		\$55 per square foot
Additions	With foundation	\$110 per square foot
	Crawlspace	Less 20%
	Post and Beam	Less 30%
Renovations		\$22 per square foot
Decks		\$15 per square foot
Garage (attached or detached)		\$40 per square foot
Siding	Vinyl	\$6.50 per square foot
	Aluminum/Steel	\$7.00 per square foot
	Shingles/Clapboards	\$5.00 per square foot
Notwithstanding the above, where the estimate of materials only is available		Twice the Estimate of materials
New construction		\$110 per square foot
Finished basements & additional floors		\$55 per square foot
Additions	With foundation	\$110 per square foot
	Crawlspace	Less 20%
	Post and Beam	Less 30%
Renovations		\$22 per square foot
Decks		\$15 per square foot
Garage (attached or detached)		\$40 per square foot
Siding	Vinyl	\$6.50 per square foot
	Aluminum/Steel	\$7.00 per square foot
	Shingles/Clapboards	\$5.00 per square foot
Notwithstanding the above, where the estimate of materials only is available		Twice the Estimate of materials



Schedule E: Refundable Deposits

The refundable amount of the deposit for Building Permits are:

All permits	If less than \$2,000: \$0
Tier 1 permits	If Estimate is \$2,000 or more: \$200
Tier 2 permits	If Estimate is \$2,000 or more 1% of Estimate: a maximum of \$2,000 and a minimum of \$300
Tier 3 permits	If Estimate is \$2,000 or more 1% of Estimate: a maximum of \$5,000 and a minimum \$500

The refundable amount of the deposit for Demolition Permits are:

All	If Estimate is less than \$2,000: \$150 If Estimate is between \$2,000 and \$10,000: \$500 + 5% of Estimate If Estimate is over \$10,000: 10% of Estimate to a maximum of \$5,000.
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The amount of Refundable Deposit for Relocations are:

All	The applicable Demolition Permit and Building Permit deposit
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Schedule F: Tiers

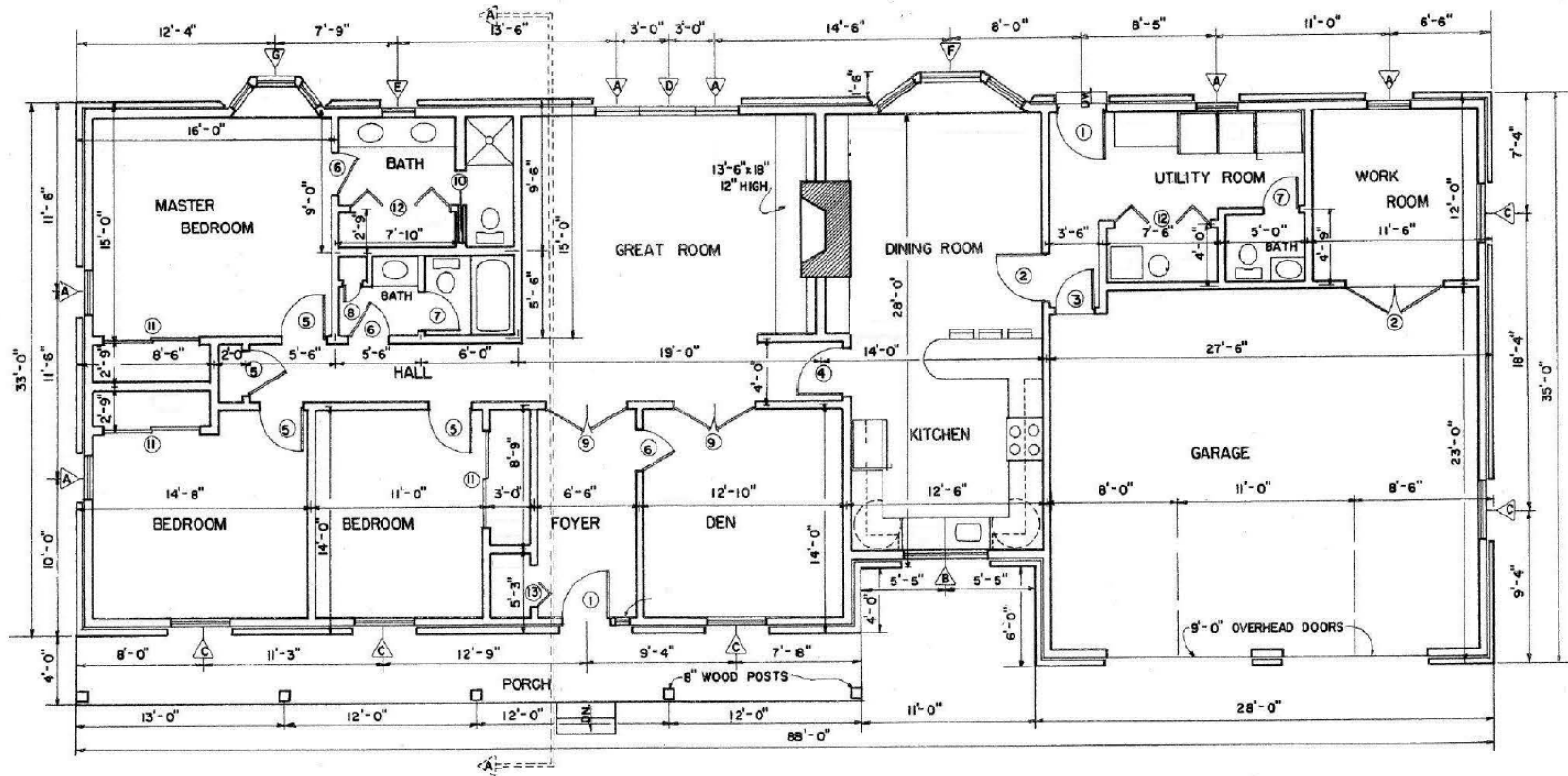
For the purposes of this schedule MICI means:
Multi-unit dwellings of 3 units and above;
Industrial buildings or structures;
Commercial buildings or structures;
Institutional buildings or structures;
And any other building or structure that is not a Minor and Medium Residential.

TIER 1
Minor and Medium Residential Window and Door
Minor and Medium Residential Deck
Minor and Medium Residential Siding
Minor and Medium Residential - Interior Renovations Value less than \$20,000
Minor and Medium Residential - Exterior Renovations Value less than \$20,000
Minor and Medium Residential - Accessory Building and Garage
All Demolitions
Electrical

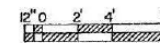
TIER 2
Minor and Medium Residential – New
Minor and Medium Residential - New dwelling unit or secondary suite
Minor and Medium Residential - Addition
Minor and Medium Residential- Interior Renovations Value \$20,000 and greater
Minor and Medium Residential - Exterior Renovations Value \$20,000 and greater
MICI - Interior Renovations Value less than \$25,000
MICI - Exterior Renovations Value less than \$25,000
MICI - Change of Occupancy, no renovations
Mobile Home
Tents

TIER 3
MICI - New
MICI - Addition
MICI - New dwelling unit
MICI - Interior Renovations Value \$25,000 and greater
MICI - Exterior Renovations Value \$25,000 and greater

FLOOR PLANS EXAMPLE



FLOOR PLAN

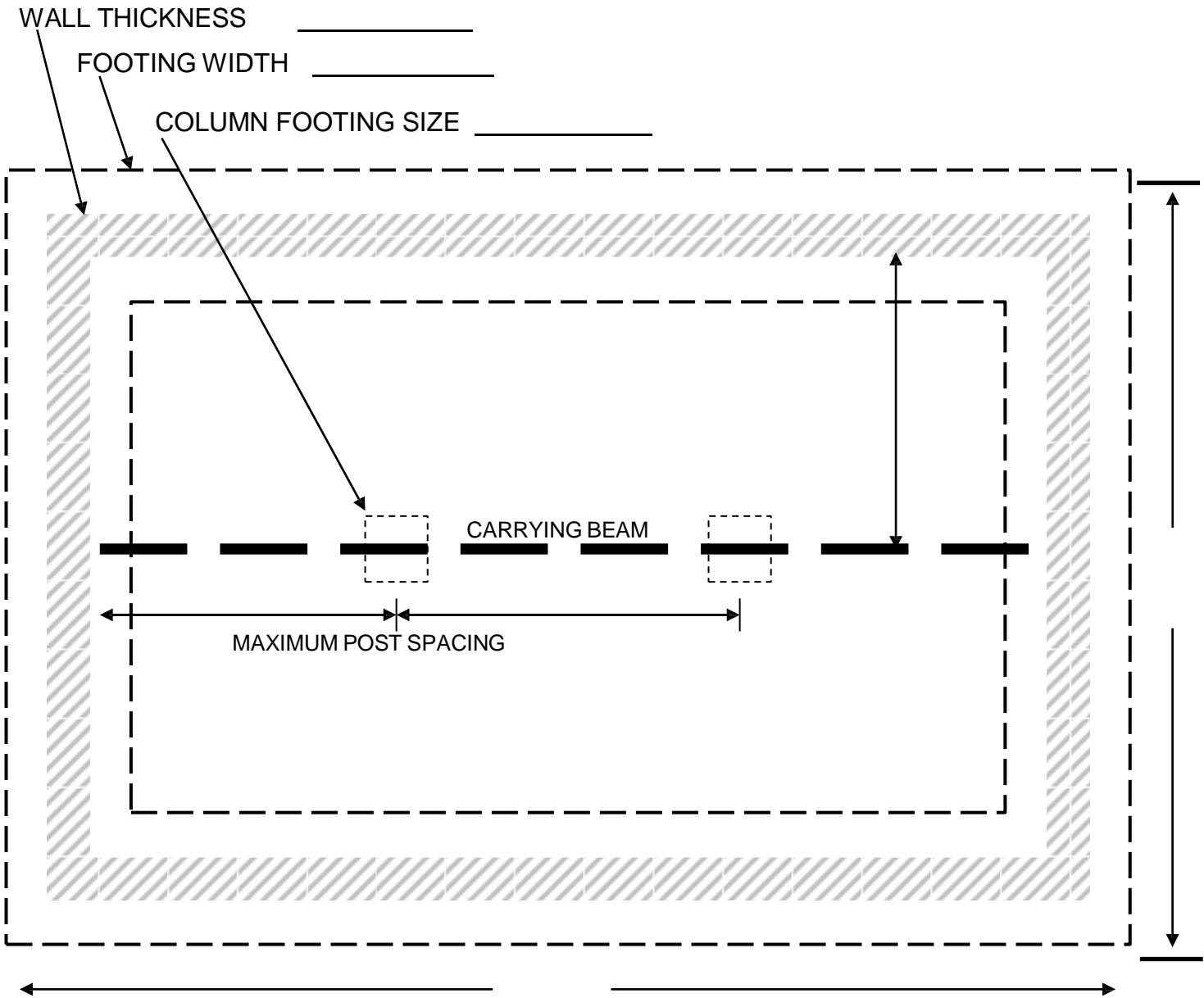


SCALE 3/16" = 1' - 0"

FOUNDATION - TYPICAL

(Part 9 National Building Code – Residential)

NUMBER OF FLOORS SUPPORTED	
CARRYING BEAM SIZE	
FLOOR JOIST SIZE	
FLOOR JOIST SPACING	
FLOOR JOIST SPAN	See diagram
MAXIMUM POST SPACING	See diagram



TYPICAL WALL SECTION (EXTERIOR) - TWO STOREY (RESIDENTIAL)

Roof Construction

FINISH: Shingles ___ Metal ___ Other: _____
 SHEATHING: OSB ___ Plywood ___ Boards: _____
 Thickness: _____
 TRUSSES: Yes ___ No ___ (If no enter rafter info)
 RAFTERS: Size _____ Spacing _____
 INSULATION: Type: _____ R Value _____
 VAPOUR BARRIER: 6mm Poly ___ Other: _____
 CEILING FINISH: Gyproc ___ Other: _____
 Type: _____ Thickness _____

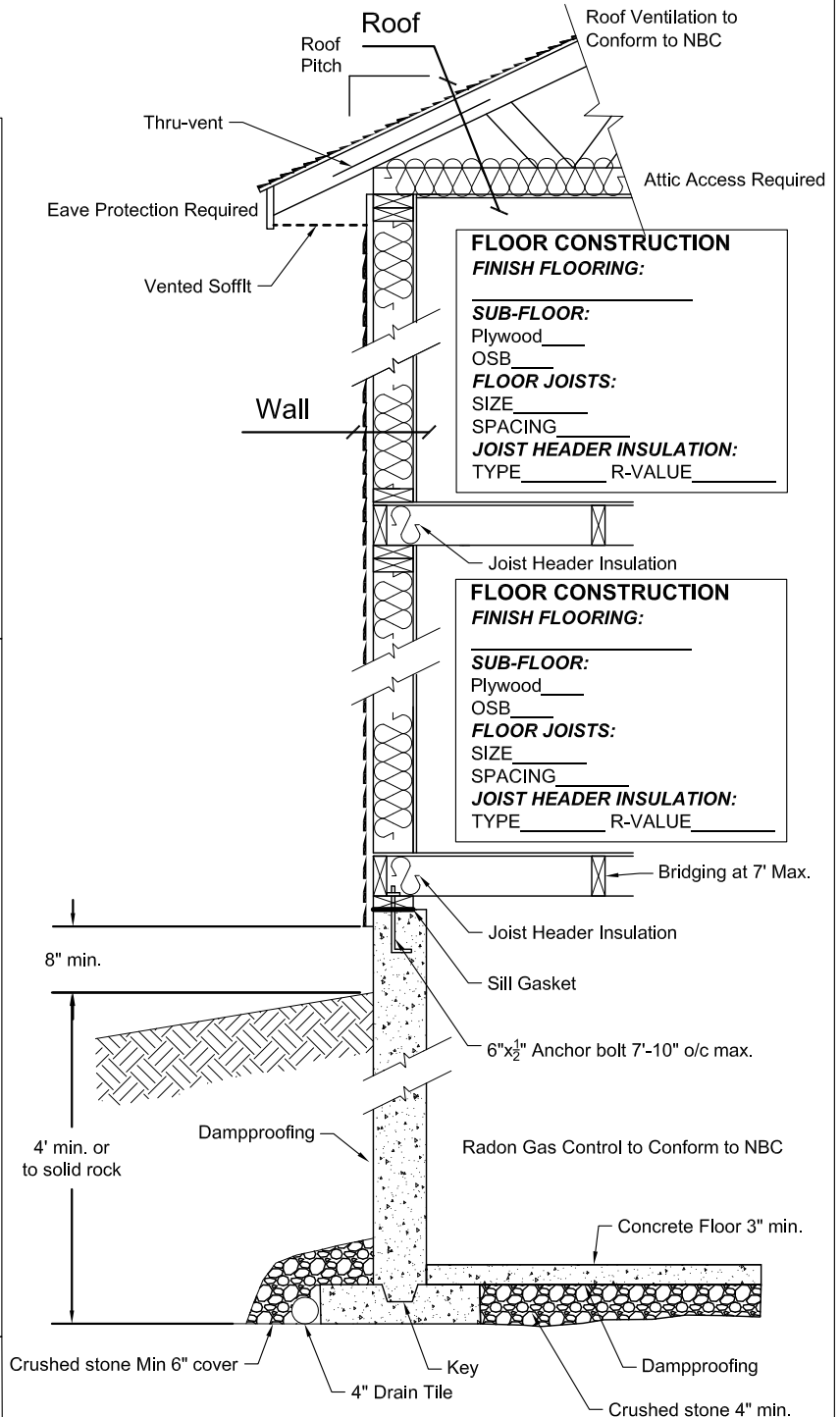
Wall Construction

EXTERIOR CLADDING:
 Vinyl ___ Metal ___ Clapboard ___ Other: _____
 HOUSE WRAP:
 Tyvek ___ Tytar ___ Tarpaper ___ Other: _____
 EXTRUDED POLYSTYRENE _____
 EXPANDED POLYSTYRENE _____ (If Applicable)
 SHEATHING: OSB ___ Plywood ___ Boards _____
 Thickness: _____
 WALL STUD: Size _____ Spacing _____
 INSULATION: Type _____ R-Value _____
 VAPOUR BARRIER: 6mm Poly ___ Other: _____
 INTERIOR FINISH: Gyproc ___ Other: _____
 Type _____ Thickness _____

FOUNDATION

FOUNDATION WALL THICKNESS: _____
 FOOTING WIDTH: _____
 BELOW GRADE WALL ASSEMBLY: _____

 BELOW SLAB INSULATION: _____



TYPICAL WALL SECTION (EXTERIOR) - SINGLE STOREY (RESIDENTIAL)

Roof Construction

FINISH: Shingles ___ Metal ___ Other: _____

SHEATHING: OSB ___ Plywood ___ Boards: _____

Thickness: _____

TRUSSES: Yes ___ No ___ (If no enter rafter info)

RAFTERS: Size _____ Spacing _____

INSULATION: Type: _____ R Value _____

VAPOUR BARRIER: 6mm Poly ___ Other: _____

CEILING FINISH: Gyproc ___ Other: _____

Type: _____ Thickness _____

Wall Construction

EXTERIOR CLADDING:

Vinyl ___ Metal ___ Clapboard ___ Other: _____

HOUSE WRAP:

Tyvek ___ Typar ___ Tarpaper ___ Other: _____

EXTRUDED POLYSTYRENE _____

EXPANDED POLYSTYRENE _____ (If Applicable)

SHEATHING: OSB ___ Plywood ___ Boards _____

Thickness: _____

WALL STUD: Size _____ Spacing _____

INSULATION: Type _____ R-Value _____

VAPOUR BARRIER: 6mm Poly ___ Other: _____

INTERIOR FINISH: Gyproc ___ Other: _____

Type _____ Thickness _____

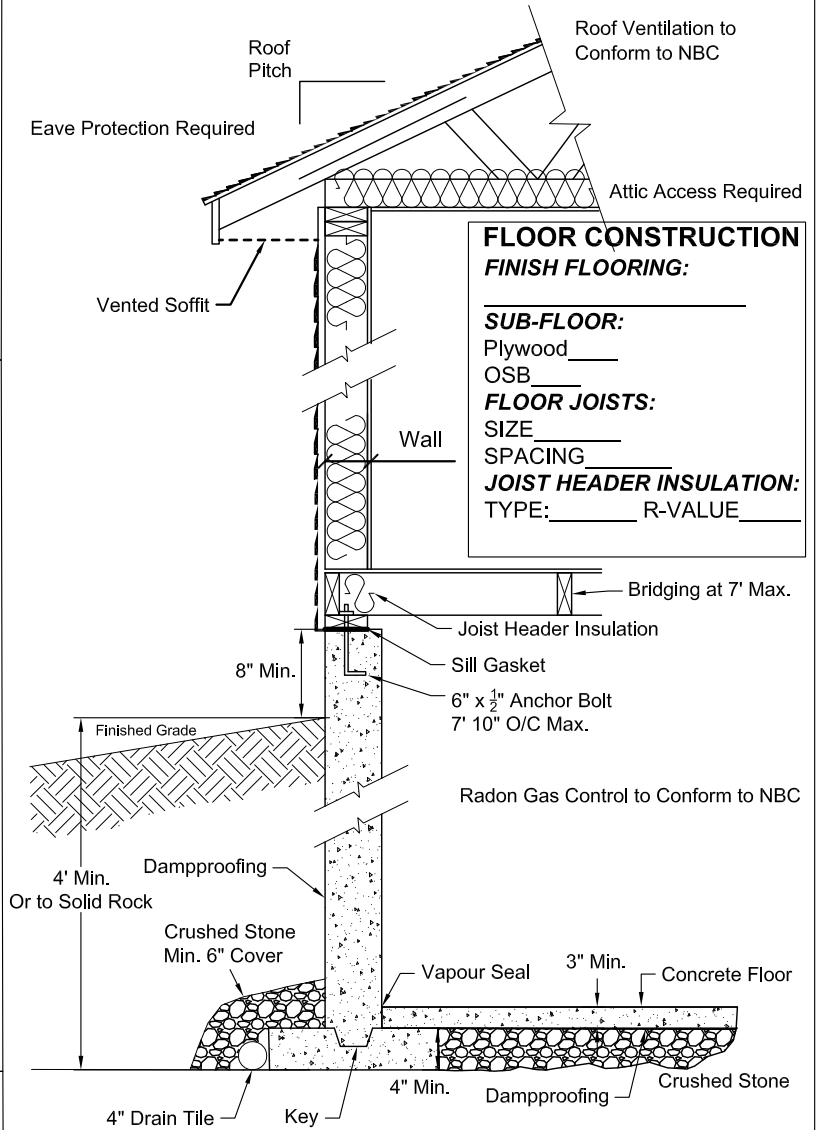
FOUNDATION

FOUNDATION WALL THICKNESS: _____

FOOTING WIDTH: _____

BELOW GRADE WALL ASSEMBLY: _____

BELOW SLAB INSULATION: _____



FLOOR CONSTRUCTION FINISH FLOORING:

SUB-FLOOR:

Plywood _____

OSB _____

FLOOR JOISTS:

SIZE _____

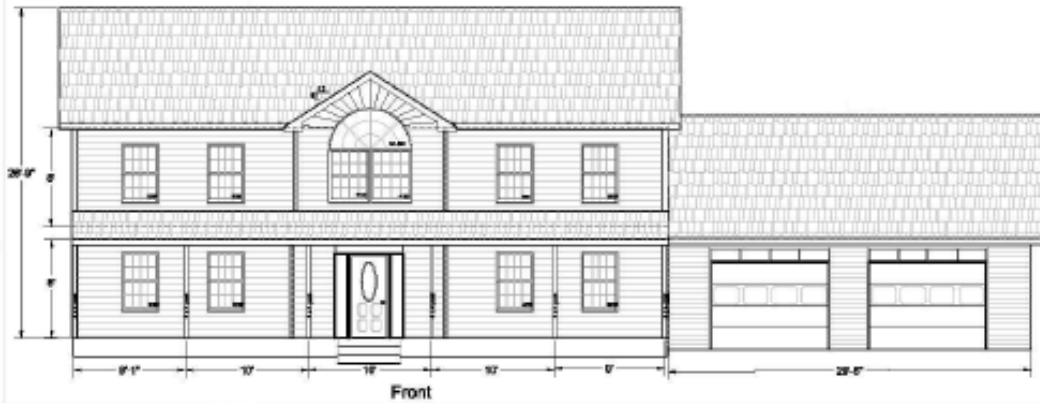
SPACING _____

JOIST HEADER INSULATION:

TYPE: _____ R-VALUE _____

Drawings are not to scale

ELEVATIONS EXAMPLE

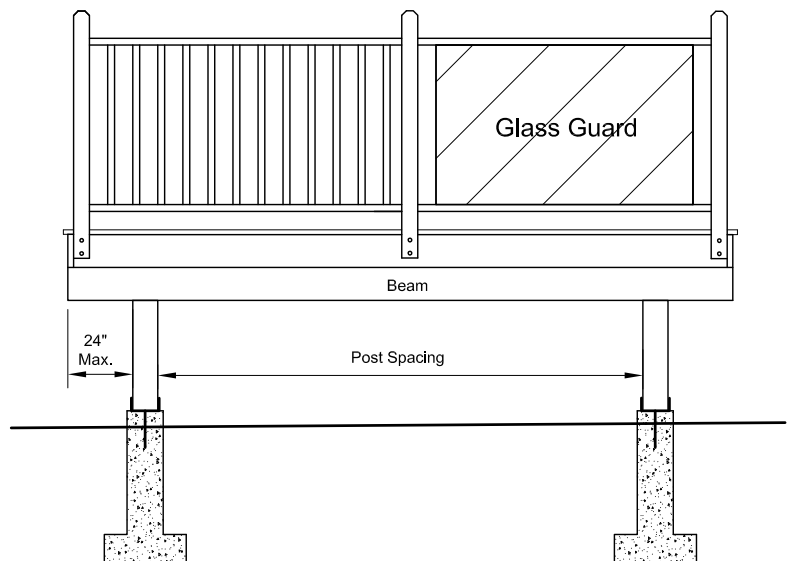
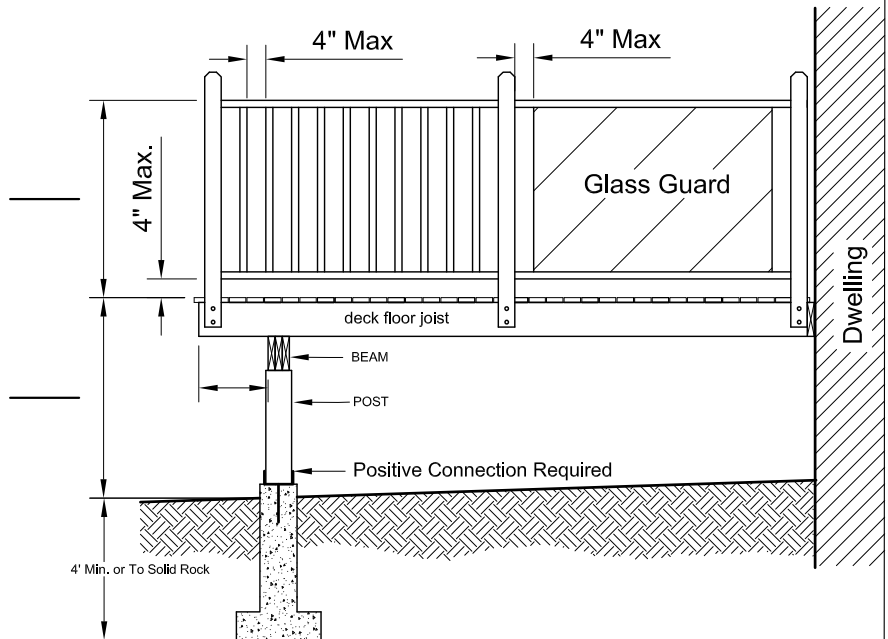


CONSTRUCTION DETAILS FOR RESIDENTIAL ATTACHED DECKS

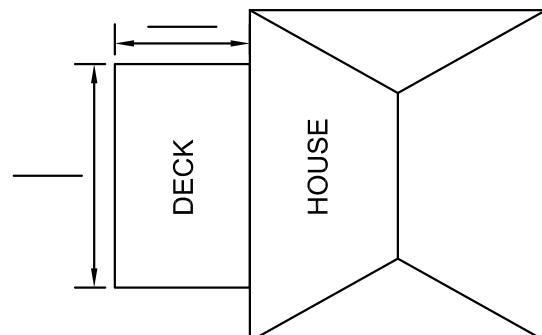
Construction details about the deck are required. Please complete the following details.

JOIST CANTILEVER			
Joist Size	Joist Spacing		
	12"	16"	24"
2x6	28	20	16
2x8	30	24	20
2x10	39	30	24

- Galvanized fasteners must be used
- All materials to be weather treated
- DECK BLOCKS ARE NOT ALLOWED FOR ATTACHED DECKS



Drawings are not to scale



DECK DETAILS

DIMENSIONS: _____ X _____

HEIGHT (GROUND TO FLOOR):

RAILING HEIGHT:

JOIST SIZE & SPACING:

JOIST SPAN:

JOIST CANTILEVER:

BEAM SIZE:

BEAM SPAN:

BEAM CANTILEVER:

POST SIZE:

POST SPACING:

FOUNDATION: SONO TUBE DIAMETER:

BIG FOOT

SCREW PILES

FOUNDATION DEPTH:

CONSTRUCTION DETAILS FOR RESIDENTIAL ATTACHED DECKS- 2 STOREY

Construction details about the deck are required. Please complete the following details.

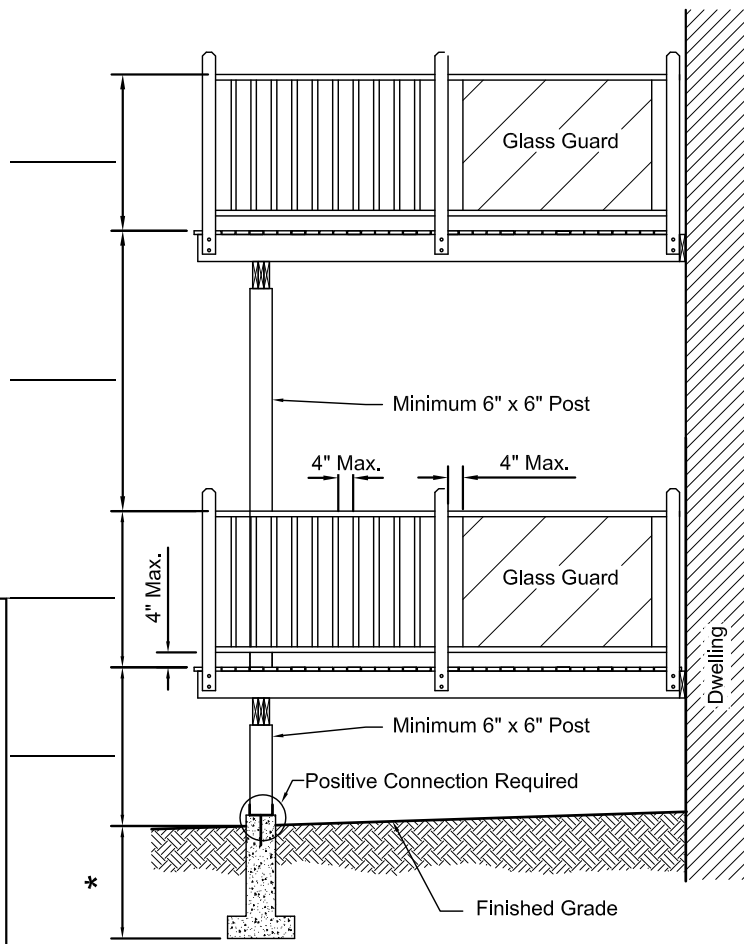
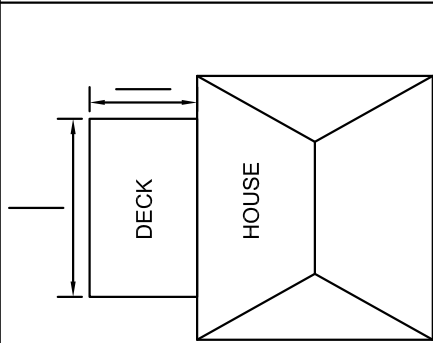
JOIST CANTILEVER

Joist Size	Joist Spacing		
	12"	16"	24"
2x6	28	20	16
2x8	30	24	20
2x10	39	30	24

- Galvanized fasteners must be used
- All materials to be weather treated
- DECK BLOCKS ARE NOT ALLOWED FOR ATTACHED DECKS

Post Size

- Sonotube Diameter _____
- Big Foot



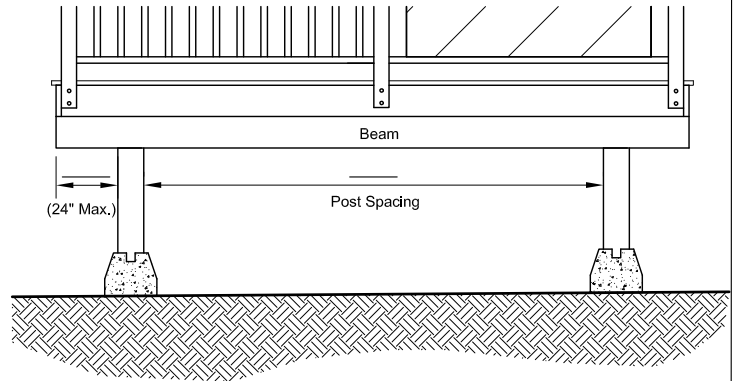
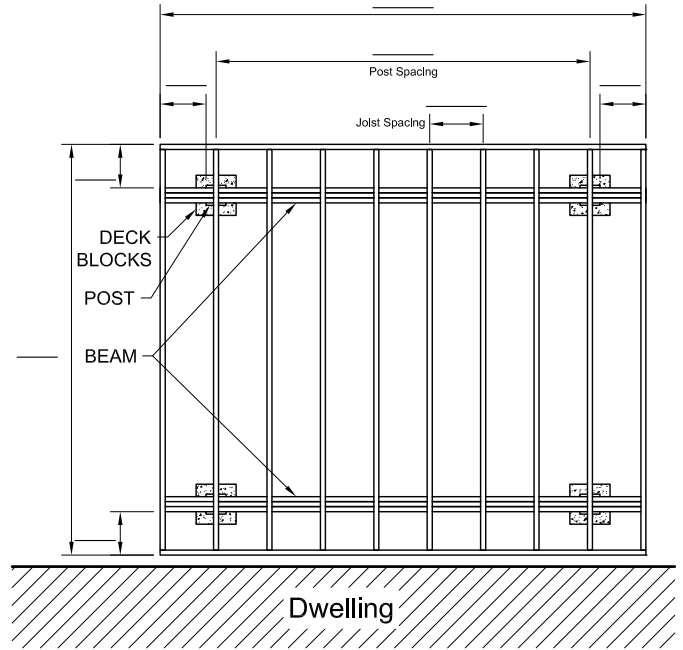
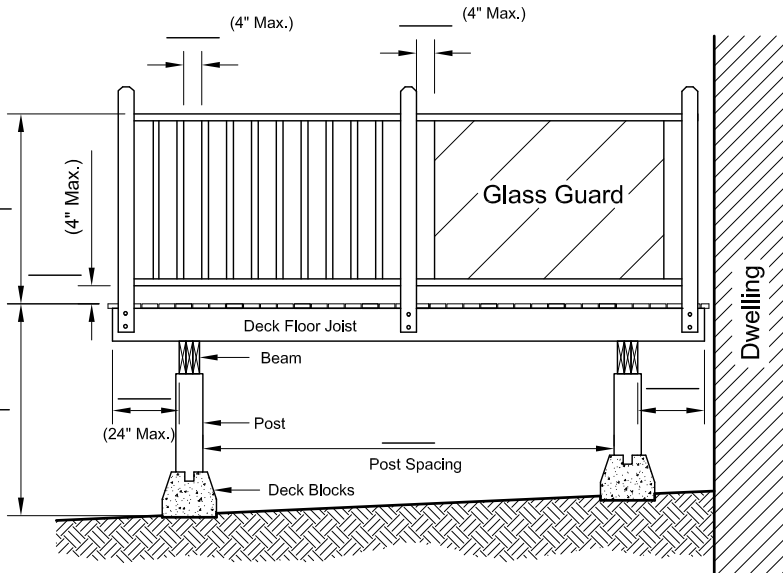
* 4' Minimum or to solid rock

Drawings are not to scale

UPPER DECK DETAILS	LOWER DECK DETAILS
DIMENSIONS: _____ X _____	DIMENSIONS:
HEIGHT (GROUND TO FLOOR):	HEIGHT (GROUND TO FLOOR):
RAILING HEIGHT:	RAILING HEIGHT:
JOIST SIZE & SPACING:	JOIST SIZE & SPACING:
JOIST SPAN:	JOIST SPAN:
JOIST CANTILEVER:	JOIST CANTILEVER:
BEAM SIZE:	BEAM SIZE:
BEAM SPAN:	BEAM SPAN:
BEAM CANTILEVER:	BEAM CANTILEVER:
POST SIZE (MIN. 6" X 6"):	POST SIZE (MIN. 6" X 6"):
POST SPACING:	POST SPACING:
FOUNDATION: <input type="checkbox"/> SONO TUBE DIAMETER: _____	FOUNDATION: <input type="checkbox"/> SONO TUBE DIAMETER:
<input type="checkbox"/> BIG FOOT	<input type="checkbox"/> BIG FOOT
<input type="checkbox"/> SCREW PILES	<input type="checkbox"/> SCREW PILES
FOUNDATION DEPTH:	FOUNDATION DEPTH:

CONSTRUCTION DETAILS FOR DETACHED DECKS (SINGLE DWELLING UNIT ONLY)

Construction details about the deck are required. Please complete the following details.



Drawings are not to scale

- Galvanized fasteners must be used
- All materials to be weather treated

DECK DETAILS

DIMENSIONS: _____ X _____

HEIGHT (GROUND TO FLOOR)(MAX. 1.8m):

RAILING HEIGHT:

JOIST SIZE & SPACING:

JOIST SPAN:

JOIST CANTILEVER:

BEAM SIZE:

BEAM SPAN:

BEAM CANTILEVER:

POST SIZE:

POST SPACING:

FOUNDATION: SONO TUBE DIAMETER:

BIG FOOT

SCREW PILES

DECK BLOCKS - DIMENSIONS:

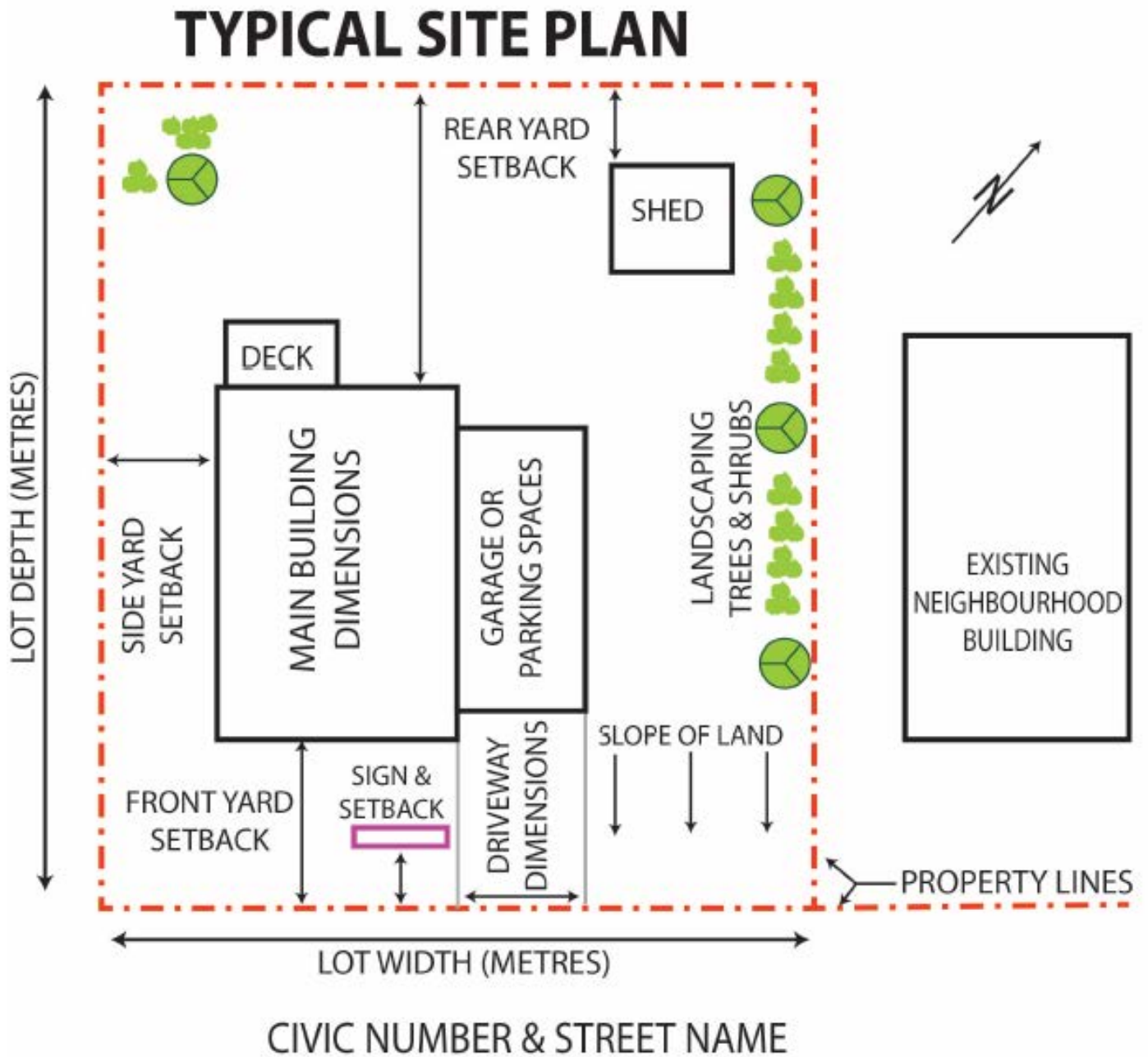
FOUNDATION DEPTH:

MAX. DISTANCE BETWEEN SUPPORT COLUMNS:

JOIST CANTILEVER

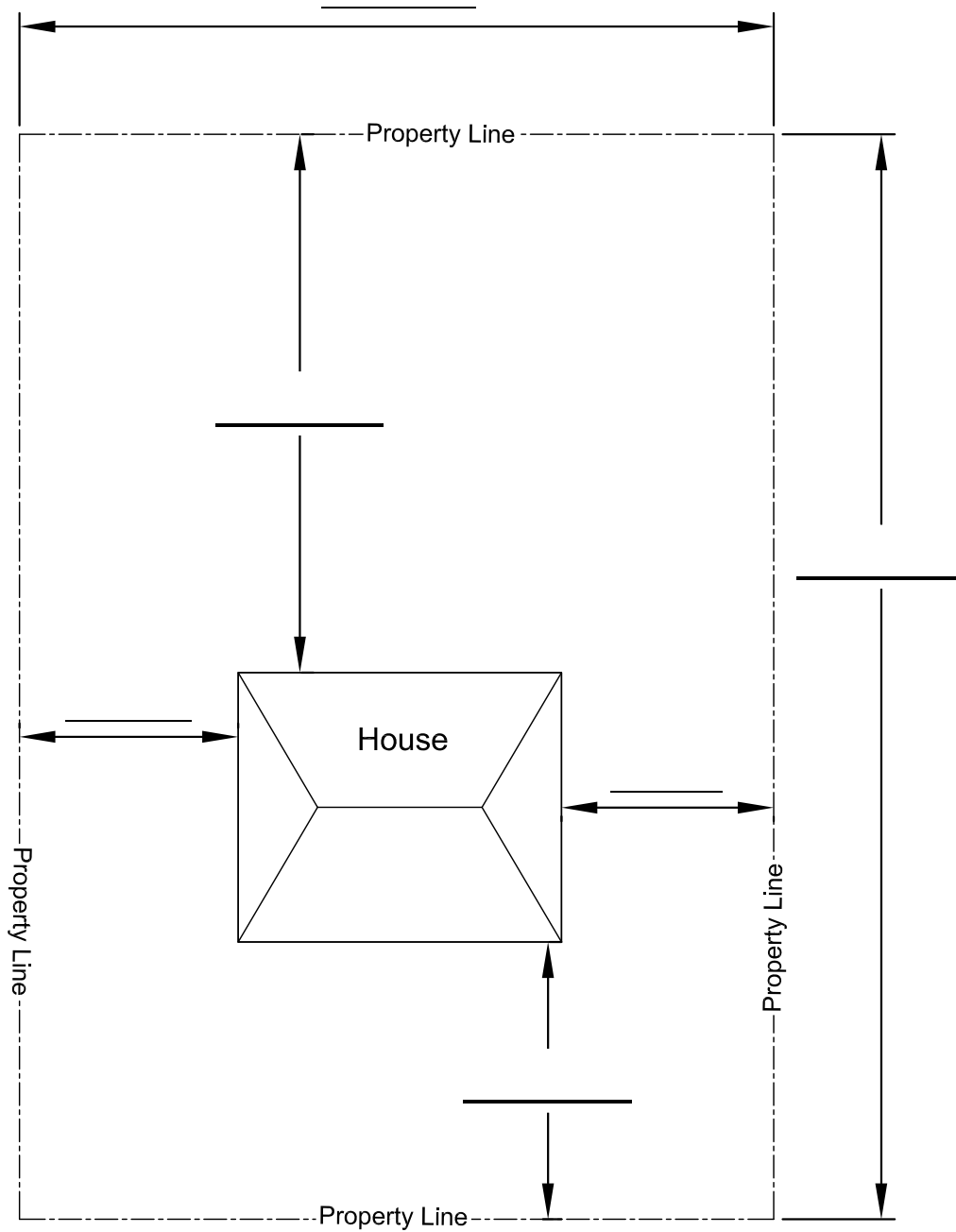
Joist Size	Joist Spacing		
	12"	16"	24"
2x6	28	20	16
2x8	30	24	20
2x10	39	30	24

TYPICAL SITE PLAN EXAMPLE



TYPICAL SITE PLAN

(ADD ACCESSORY BUILDING(S) and/or DECK(S) AS NEEDED)



Street Name : _____ *Drawings are not to scale*

(If the lot is a corner lot then indicate the intersecting street)

Number of Units : _____

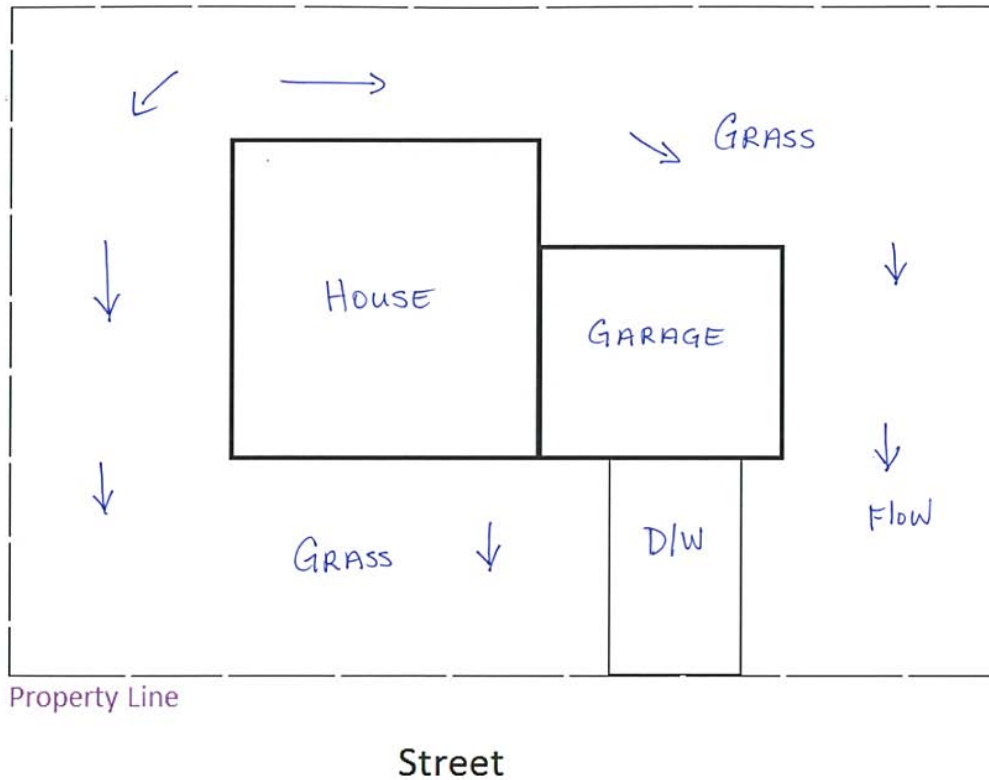
LOT DRAINAGE SKETCH

Sketch must include direction of Stormwater flow and location and grade of Surface Drainage Features. (*Building By-law; Section 9(4)*)

APPLICANT/OWNER: _____

PID #: _____

ADDRESS: _____





LOT DRAINAGE SKETCH

Sketch must include direction of Stormwater flow and location and grade of Surface Drainage Features. (*Building By-law; Section 9(4)*)

APPLICANT/OWNER: _____

PID #: _____

ADDRESS: _____

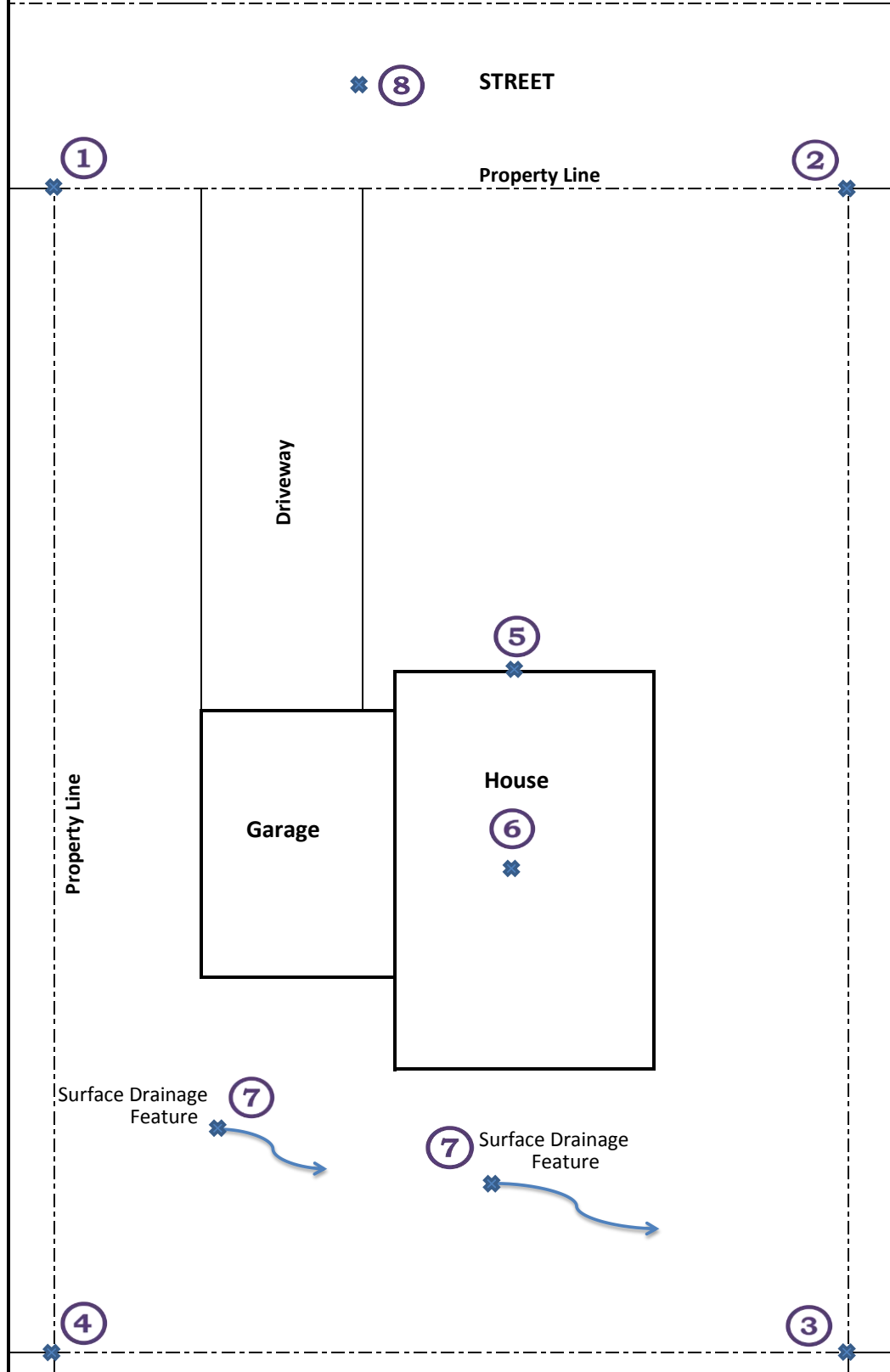


Property Line

Property Line



SAMPLE SKETCH



RESIDENTIAL ROUGH GRADING PLAN

APPLICANT/OWNER: _____

PID #: _____

ADDRESS: _____

APPROVED SUBDIVISION/LOT GRADING PLAN: _____

INFORMATION REQUIRED:

All elevations to be geodetic;
All elevations to be in metres;
All elevations to be to three decimal places.
Benchmark and Reference Location:

		Approved Grading Plan Elevation (metres)	Building Permit Application Proposed Elevation (metres)	Occupancy Permit Approval As-Built Elevation (metres)	Difference (Proposed vs As-Built) (+/- 100mm)
1	Elevation at the corner of the Lot				
2	Elevation at the corner of the Lot				
3	Elevation at the corner of the Lot				
4	Elevation at the corner of the Lot				
5	Top of foundation wall elevation				
6	Basement floor elevation				
7	Location and grade of all Surface Drainage Features (swales, depressions in finished grades, etc.)				
7	Location and grade of all Surface Drainage Features				
8	Elevation at centreline of Street				

PROFESSIONAL ENGINEER OR LAND SURVEYOR CERTIFICATION:

Company Information:

Name: _____

Address: _____

Phone: _____

E-mail: _____

In accordance with the Saint John Building By-law,

I, _____
print name

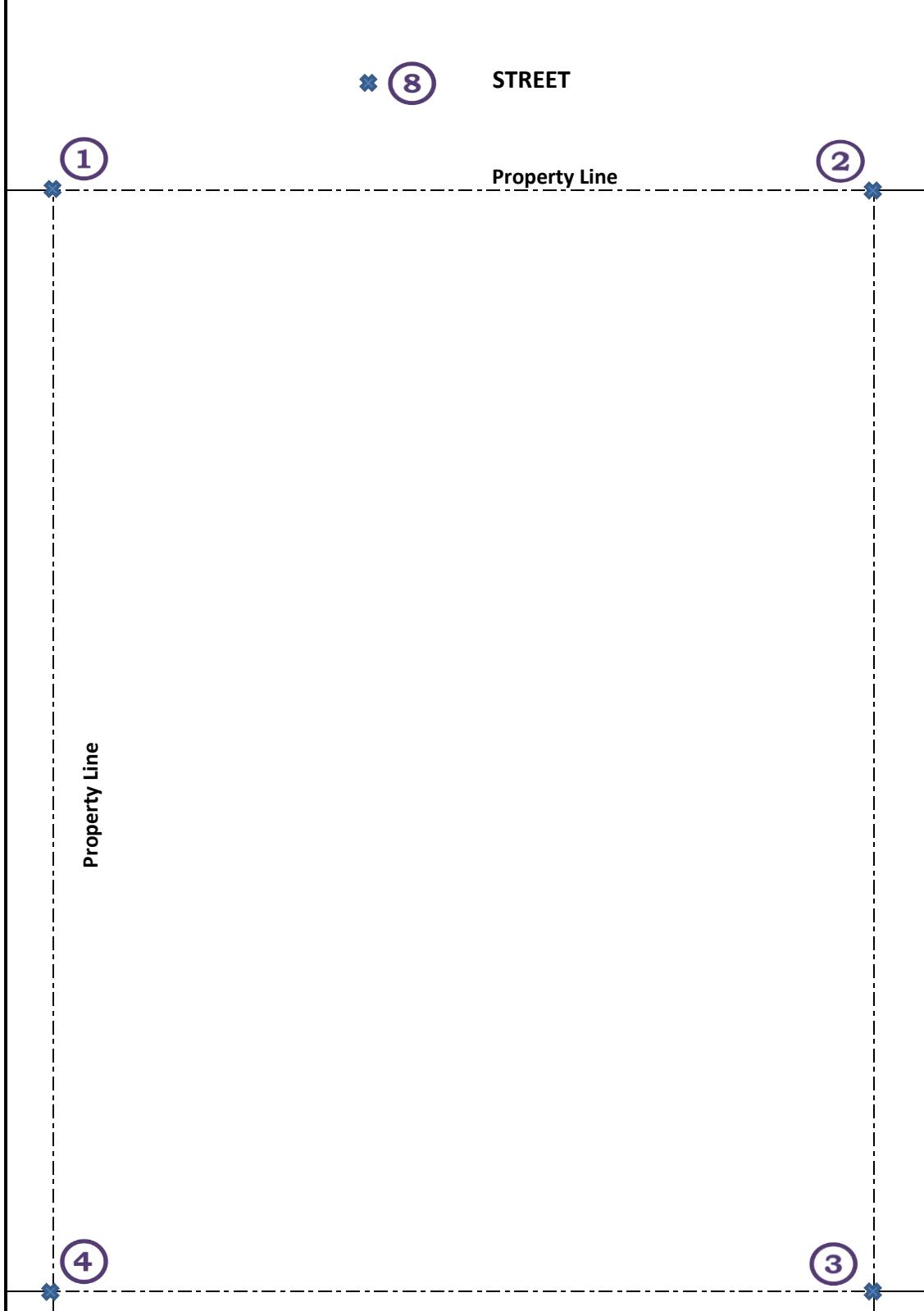
confirm the rough grading of the Lot is in general conformance with the Approved Grading Plan and within the accepted tolerance.



Professional Seal



SKETCH



RESIDENTIAL ROUGH GRADING PLAN

APPLICANT/OWNER: _____

PID #: _____

ADDRESS: _____

APPROVED SUBDIVISION/LOT GRADING PLAN: _____

INFORMATION REQUIRED:

All elevations to be geodetic;
 All elevations to be in metres;
 All elevations to be to three decimal places.
 Benchmark and Reference Location:

		Approved Grading Plan Elevation (metres)	Building Permit Application Proposed Elevation (metres)	Occupancy Permit Approval As-Built Elevation (metres)	Difference (Proposed vs As-Built) (+/- 100mm)
1	Elevation at the corner of the Lot				
2	Elevation at the corner of the Lot				
3	Elevation at the corner of the Lot				
4	Elevation at the corner of the Lot				
5	Top of foundation wall elevation				
6	Basement floor elevation				
7	Location and grade of all Surface Drainage Features (swales, depressions in finished grades, etc.)				
7	Location and grade of all Surface Drainage Features				
8	Elevation at centreline of Street				

PROFESSIONAL ENGINEER OR LAND SURVEYOR CERTIFICATION:

Company Information:

Name: _____

Address: _____

Phone: _____

E-mail: _____

In accordance with the Saint John Building By-law,

I, _____
print name

confirm the rough grading of the Lot is in general conformance with the Approved Grading Plan and within the accepted tolerance.



Professional Seal

INSTRUCTIONS

Complete the following chart with the construction details for the project.

Table 1 - Identify each different building envelope construction and indicate the matching assembly number from those available (see Energy Efficiency Assemblies Guide for details)

<http://www.saintjohn.ca/site/media/SaintJohn/Assemblies%20Information%20Binder.pdf>.

If you will be providing your own assembly, a blank template is available for you to complete. A cross section of the assembly must be provided.

Table 2 - Identify the windows and doors in the construction, along with the model and either the ER value, the U value or the Energy Star Zone letter. **(Leave all labels on the windows for final pre-occupancy inspection.)**

Table 3 – Identify the mechanical equipment of the building including the equipment’s associated efficiency information. A form for ventilation must also be submitted (see page 3).

Table 4 - Only needs to be completed if trade-offs are being used.

PROPERTY ADDRESS:

PROPERTY ADDRESS:				
1.	Type of Assembly	Assembly number	RSI or R Value	For office use
Building Envelope	Ceilings			
	Ceilings (below attic)			
	Ceiling (cathedral and flat roof – if applicable)			
	Ceilings tray			
	Exterior Walls & location			
	Walls			
	Walls			
	Walls			
	Walls			
	Shared Garage Wall (if applicable)			
	Joist Headers			
	Floor Joist Cavity			
	Basement Walls			
	Basement wall			
	Basement wall			
Floors				
Slab				

City of Saint John
Prescriptive Energy Efficiency Design Detail

2.	In floor heating	Y/N		
	Model	Rating (ER, U or Energy Star)	Model	Rating (ER, U or Energy Star)
Windows, Doors and Skylights	Windows			
	Doors			
	Skylights			

3. MECHANICAL SYSTEMS

Ventilation System			
Manufacturer		Model	
Ventilation Rate		See attached ventilation form to complete (next page)	
OFFICE USE	Efficiency At 0°C	At -25°C	
Heating & Cooling Systems			
Main System		Manufacturer	
Fuel Type		Model	
Heat Pump	AHRI #		
OFFICE USE	Efficiency		
Secondary System		Manufacturer	
Fuel Type		Model	
OFFICE USE	Efficiency		
Other Systems		Manufacturer	
Fuel Type		Model	
OFFICE USE	Efficiency		
Hot Water System			
Type		Manufacturer	
Fuel Type		Model	
OFFICE USE	Efficiency		

City of Saint John
Prescriptive Energy Efficiency Design Detail

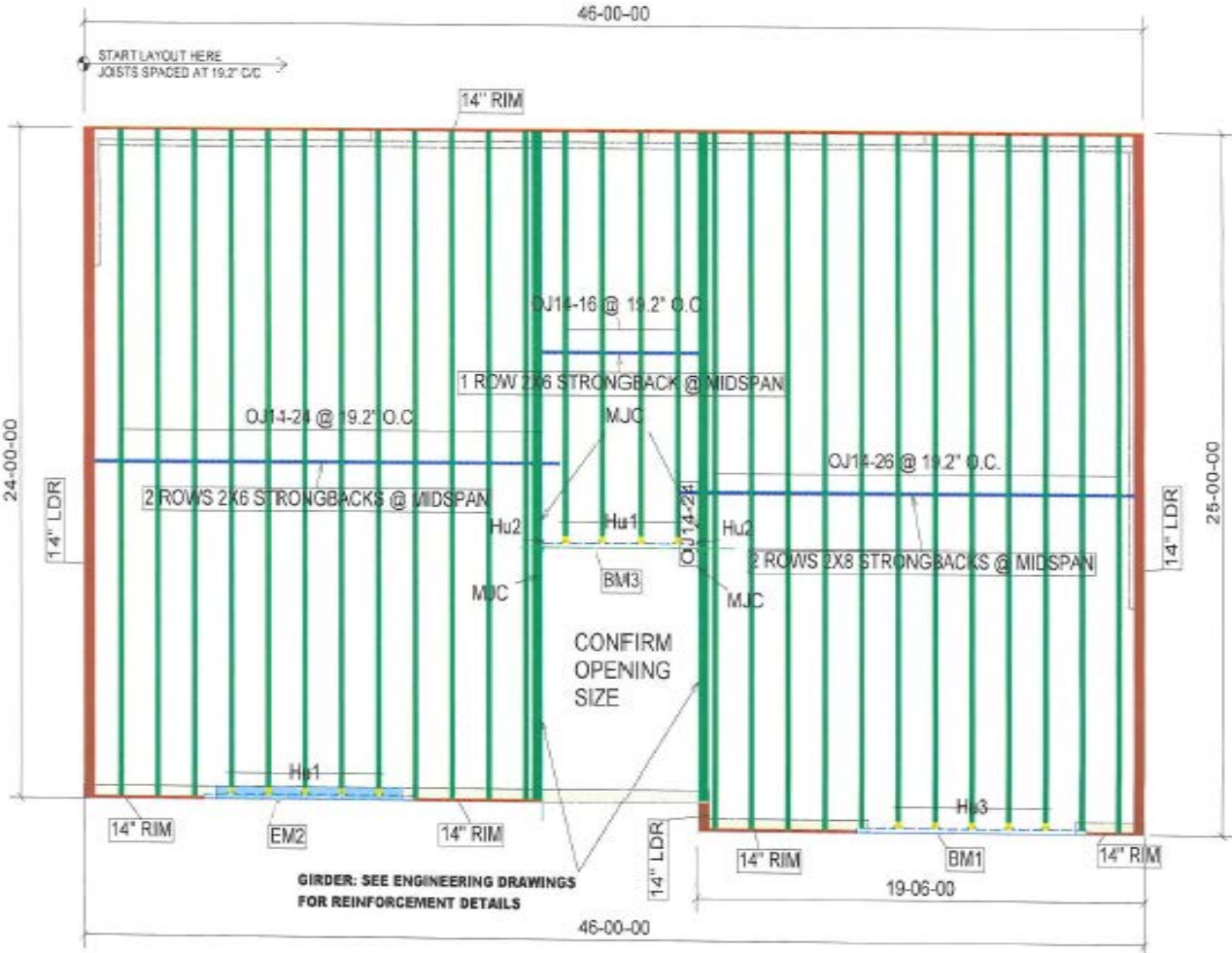
Mechanical Ventilation Record – Residential (based on HRAI form)

Installer Information			
Company			
Address			
Telephone		Cell	
Contact name			
HRAI # (if applicable)			
Design method for Ventilation NBC 2010 (9.32) <input type="checkbox"/> CSA F326 <input type="checkbox"/>			
Ventilation Capacity Rate			
Room Type	Quantity	@	Ventilation Capacity
Unfinished Basement		L/s	L/s
Master Bedroom		L/s	L/s
Bedrooms		L/s	L/s
Kitchen		L/s	L/s
Living Room		L/s	L/s
Dining Room		L/s	L/s
Bathroom		L/s	L/s
Other Habitable Rooms		L/s	L/s
		L/s	L/s
Total Ventilation Capacity			L/s
Ventilation System			
Manufacturer		Model	
Design Air Flow			
Additional Exhaust			
Bathroom Fan (quantity x air change rate L/s) =			
Kitchen Range Hood (quantity x air change rate L/s) =			
Other			

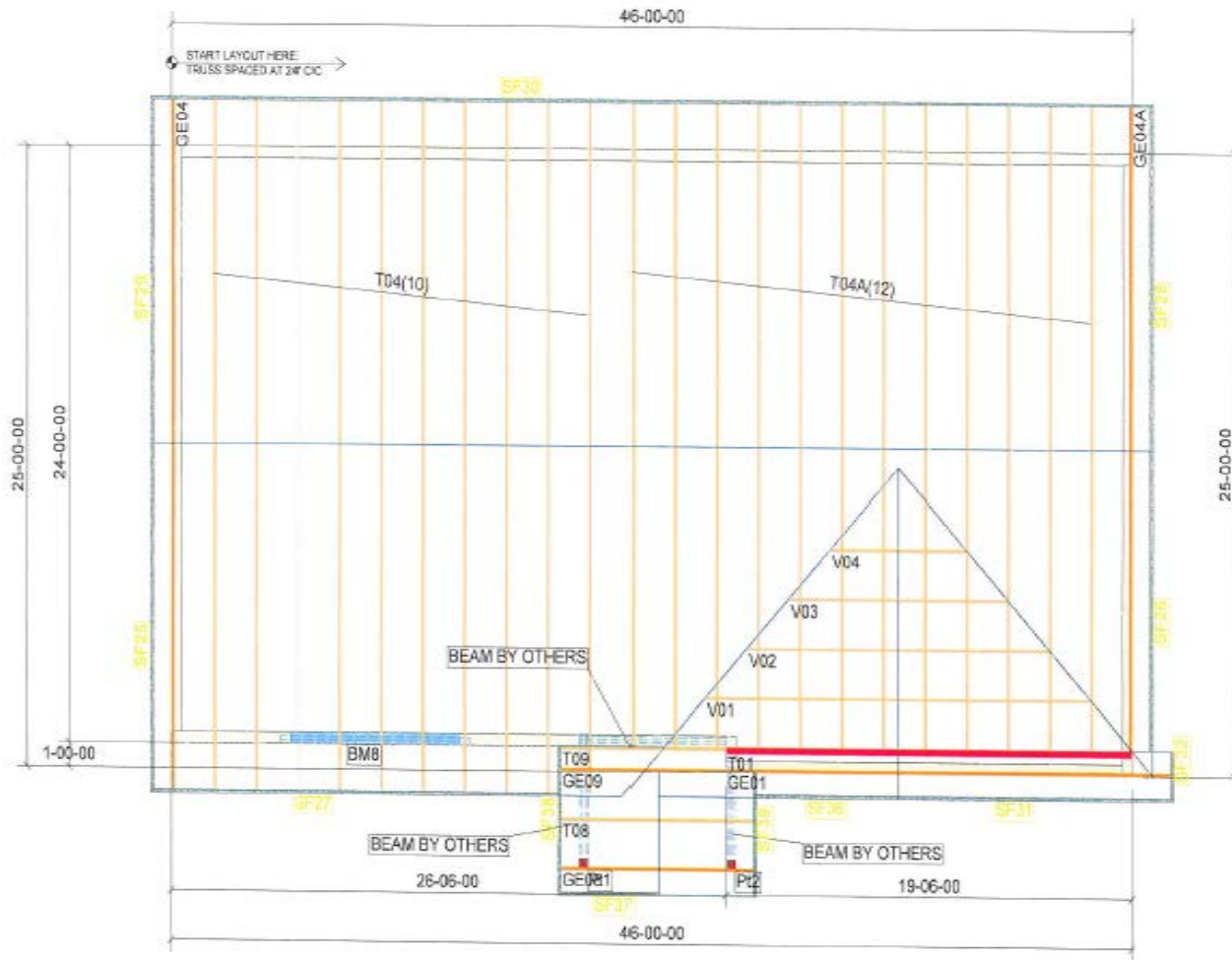
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4.	TRADE-OFFS
	Only complete this form if you are using trade-offs. If you require additional room to complete the form, please attach to the application.
	1. ABOVE GRADE EXTERIOR WALLS AND CEILINGS
Above Grade Exterior walls & Ceilings	Detail the trade offs
	2. WINDOWS
	Trade-offs for windows must be in the same orientation and have same window surface areas. Doors cannot be traded. Only fill out the detail for the elevation you are trading.
Windows	
	3. BUILDINGS WITH LOW CEILINGS (9.36.2.11.4)

FLOOR TRUSS LAYOUT EXAMPLE



ROOF TRUSS LAYOUT EXAMPLE



ROOF TRUSS DRAWING EXAMPLE

