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2019-06-03  
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PROVINCE OF NEW BRUNSWICK  
COUNTY OF SAINT JOHN

I, JONATHAN TAYLOR, of the City of Saint John in the  
County of Saint John and Province of New Brunswick, DO HEREBY  
CERTIFY:-

1. That I am the Common Clerk of the said City of Saint John,  
15 Market Square, P.O. Box 1971, Saint John, N.B. E2L 4L1 and as such  
have the custody of the minutes and records of the Common Council of  
the said City of Saint John and of the Common Seal of the said City.
2. That hereto attached and marked "A" is a true copy of a by-  
law entitled "By-law Number C.P. 106-17 A Law to Amend the Municipal  
Plan By-law", enacted by the Common Council of The City of Saint John  
on the 23rd day of April, A.D. 2019.
3. That I have carefully compared the said by-law with the  
original and the same is a true copy thereof.

D A T E D at The City of Saint John on the 1st day of May,  
A.D. 2019.

IN TESTIMONY WHEREOF, I, the said  
Common Clerk of The City of Saint John have  
hereunto affixed the Common Seal of the said  
City the day and year as written above.



Jonathan Taylor  
Common Clerk

"A"

**BY-LAW NUMBER C.P. 106-17  
A LAW TO AMEND THE  
MUNICIPAL PLAN BY-LAW**

**ARRÊTÉ N° C.P. 106-17  
ARRÊTÉ MODIFIANT L'ARRÊTÉ  
RELATIF AU PLAN MUNICIPAL**

Be it enacted by The City of Saint John in Common Council convened, as follows:

Lors d'une réunion du conseil communal, The City of Saint John a édicté ce qui suit :

The Municipal Plan By-law of The City of Saint John enacted on the 30th day of January, A.D. 2012 is amended by:

L'arrêté concernant le plan municipal de The City of Saint John décrété le 30 janvier 2012 est modifié par :

**1** Amending Schedule B – Future Land Use, by redesignating a parcel of land with an area of approximately 3.25 hectares, located at 40 Mountain View Drive, also identified as PID Nos. 00313429 and 00426452, from *Low Density Residential* to *Low to Medium Density Residential* classification.

**1** La modification de l'annexe B – Utilisation future des sols, afin de faire passer la désignation d'une parcelle de terrain d'une superficie d'environ 3,25 hectares, située au 40, chemin Mountain View, et portant les NID 00313429 et 00426452, de *Résidentiel à faible densité* à *Résidentiel à densité faible ou moyenne*.

- all as shown on the plans attached hereto and forming part of this by-law.

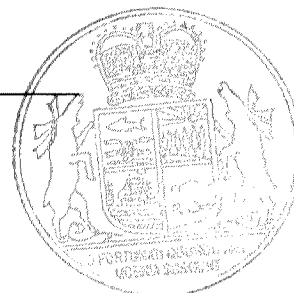
- toutes les modifications sont indiquées sur les plans ci-joints et font partie du présent arrêté.

IN WITNESS WHEREOF The City of Saint John has caused the Corporate Common Seal of the said City to be affixed to this by-law the 23<sup>rd</sup> day of April, A.D. 2019 and signed by:

EN FOI DE QUOI, The City of Saint John a fait apposer son sceau communal sur le présent arrêté le 23 avril 2019, avec les signatures suivantes :


  
\_\_\_\_\_  
Mayor

  
\_\_\_\_\_  
Common Clerk/Greffier communal



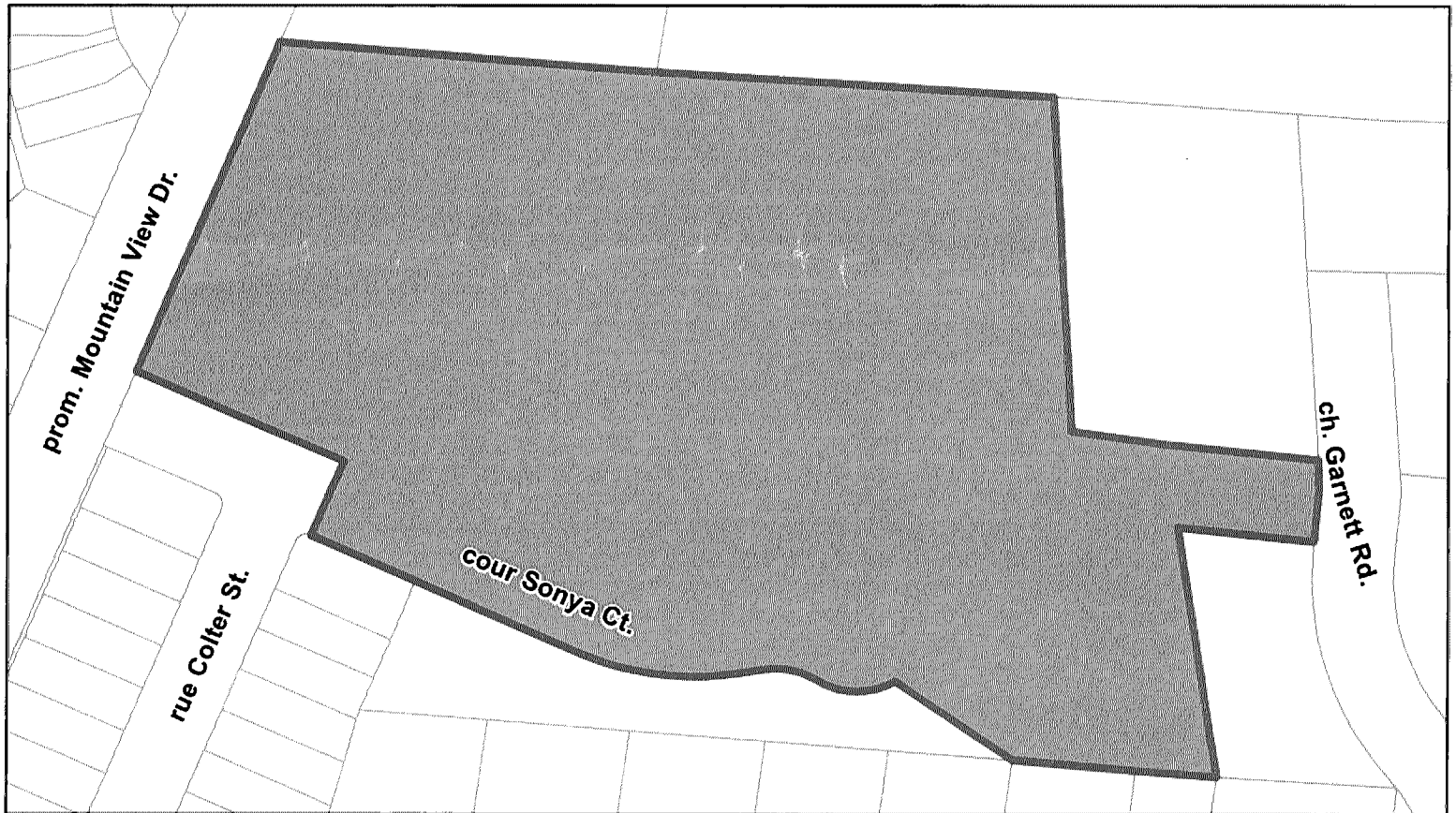
First Reading - April 8, 2019  
Second Reading - April 8, 2019  
Third Reading - April 23, 2019

Première lecture - le 8 avril 2019  
Deuxième lecture - le 8 avril 2019  
Troisième lecture - le 23 avril 2019

**APPROVED**  
pursuant to the  
Community Planning Act  
  
for - Minister / pour la/la Ministre  
Environment and Local Government  
Environnement et Gouvernements locaux  
May 16, 2019  
Date

GROWTH & COMMUNITY DEVELOPMENT SERVICES  
SERVICE DE LA CROISSANCE ET DU DÉVELOPPEMENT COMMUNAUTAIRE  
**MUNICIPAL DEVELOPMENT PLAN / PLAN D'AMÉNAGEMENT MUNICIPAL**

Amending Schedule B  
Modifiant annexe B



**FROM / DE**

Low Density Residential  
Résidentiel à faible densité



**TO / À**

Low to Medium Density Residential  
Résidentiel à densité faible  
ou moyenne

**Applicant:** Hughes Surveys & Consultants Inc.

**Location:** 40 Mountain View Drive

**PID(s)/NIP(s):** 00313429, 00426452

**Considered by P.A.C./considéré par le C.C.U.:** March 26 mars, 2019

**Enacted by Council/Approuvé par le Conseil:**

**Filed in Registry Office/Enregistré le:**

**By-Law #/Arrêté #**

**Drawn By/Créée Par:** Andrew Pollock **Date Drawn/Carte Créée:** April 16 avril, 2019