

City of Saint John

TENDER

Tender # 2023-085103T RETROFIT OF LIVING QUARTERS – FIRE STATION 1

Sealed tenders, hand delivered or couriered, addressed to Monic MacVicar, CCLP, CPPB, Supply Chain Management, 1st Floor – 175 Rothesay Avenue, Saint John, NB, E2J 2B4, and marked on the envelope:

“Tender # 2023-085103T RETROFIT OF LIVING QUARTERS – FIRE STATION 1”

will be received until 2:30:00 pm, Tuesday, August 8th, 2023 for the supply of all materials, labor and equipment necessary to complete the retrofit of the living quarters at Fire Station #1 , in accordance with the enclosed specifications, drawings, terms and conditions.

In light of the current Covid-19 pandemic, there will be no public opening. Tenders will be opened by the Tender Opening Committee, in the first-floor boardroom, 175 Rothesay Avenue, Municipal Operations Complex, immediately following the tender closing time. **Registered bidders may attend remotely via Teams invitation.**

The lowest or any tender not necessarily accepted.

**Monic MacVicar, CCLP, CPPB
Supply Chain Management**

Issued: Wednesday, July 19th, 2023

T E N D E R
Tender # 2023-085103T
RETROFIT OF LIVING QUARTERS – FIRE STATION 1

SCOPE OF WORK:

The City of Saint John is soliciting tenders from qualified bidders to supply all materials, labor and equipment necessary to complete the retrofit of the living quarters at Fire Station #1, as per the specifications, drawings, terms and conditions outlined in this document.

A pre-bid site visit will be held on Thursday, July 27th, 2023 at 11:00:00AM. We will meet in the lobby of Fire Station #1 which is located at 45 Leinster Street. All bidders are strongly urged to attend.

SPECIFICATIONS:

See Appendix A for specifications and drawings.

TERMS AND CONDITIONS

Governing Law, Trade Treaties and Policies

This procurement will be in accordance with the laws of the province of New Brunswick and the federal laws of Canada.

This procurement is also subject to the following Policies, Legislation and Internal Trade Agreement(s) including:

- Agreement on the Opening of Public Procurement for NB and Québec
- Canadian Free Trade Agreement
- New Brunswick Procurement Act and Regulation 2014-93
- City of Saint John Strategic Procurement Policy

Submission Instructions

Sealed tenders, hand delivered or couriered, addressed to Monic MacVicar, CCLP, CPPB, Supply Chain Management, 1st Floor – 175 Rothesay Avenue, Saint John, NB, E2J 2B4, and marked on the envelope:

“Tender # 2023-085103T
RETROFIT OF LIVING QUARTERS – FIRE STATION 1”

will be received until 2:30:00 pm, Tuesday, August 8th, 2023 for the work contemplated in this document and in accordance with the enclosed specifications, drawings, terms and conditions.

Enquiries

Bidders shall promptly examine the bid documents and report any errors, omissions or ambiguities and may direct enquiries or seek additional information in writing by email before the deadline for enquiries to the Authorized Enquiries Contact as set out below. No such communications are to be directed to anyone other than the Authorized Enquiries Contact.

Authorized Enquiries Contact

Monic MacVicar, CCLP, CPPB
Supply Chain Management
City of Saint John
Email: supplychainmanagement@saintjohn.ca

It is the Bidder's responsibility to seek clarification from the City on any matter it considers unclear. The City shall not be responsible for any misunderstanding on the part of the Bidder concerning this bid document or its process.

The City intends to confirm receipt of a bidder's communication by way of an email or facsimile in reply. If a bidder has not received a reply, the bidder may wish to resend its communication as the lack of reply may have resulted from a technical problem. The City is under no obligation to respond to enquiries or provide additional information but may do so at its sole discretion.

Responses to inquiries may be distributed to all bidders on the invitation list as having received the bid documents as of the date the response is prepared. The source of the question will not be identified in the response. Verbal information shall not be binding upon the City. Inquiries received after the deadline for enquiries will not receive a response.

Tender to be Submitted on Prescribed Form

Bidders are to submit their tender on the prescribed form contained in this document. Failure to submit on this form may result in the disqualification of the bid.

Taxes

The bid price shall be all taxes extra. The City of Saint John shall be invoiced for and pay all applicable taxes related to this bid.

Schedule for the Bid Process

Issue Date	Wednesday, July 19 th , 2023
Pre-Bid Site Visit	Thursday, July 27th, 2023 at 11:00:00 am ADT
Deadline for Enquiries	Monday, July 31 st , 2023 at 4:00:00 pm, ADT
Deadline for Issuing Addenda	Tuesday, August 1 st , 2023 at 4:00:00 pm, ADT
Submission Deadline	Tuesday, August 8 th , 2023 at 2:30:00 pm, ADT
Date of Award	TBD

The Schedule for the bid process is tentative only and may be changed by the City in its sole discretion.

Advisory Notice(s)

Periodically, the City of Saint John is required to issue clarification notices to a bid document in the form of Advisory Notices. Normally these notifications will not have a direct bearing on the cost of a project and will not influence bidding.

Bidders are responsible for obtaining all advisory notice(s) issued by the City. Advisory Notice(s) may be obtained from the City's website (www.saintjohn.ca) under the Menu option, City Hall header, then "Tender and Proposals".

Bidders are instructed to sign the Advisory Notice and return it either by fax to (506) 658-4742 or email to supplychainmanagement@saintjohn.ca prior to the closing date. Failure to comply with the instructions on an advisory may result in rejection of the bid.

Addenda

Periodically, the City of Saint John is required to issue notification of changes or corrections to a bid document by way of addenda. Normally these notifications will have direct bearing on the cost of a project and will influence bidding. Therefore, it is important that the City have assurances that bidders have in-fact received the notification(s).

Bidders are responsible for obtaining all addenda issued by the City. Addenda may be obtained from the City's website (www.saintjohn.ca) under the Menu option, City Hall header, then "Tender and Proposals".

Bidders are required to sign and include all addenda with their bid submission.

Failure to include a copy of all signed addenda with the bid submission may result in rejection of the bid regardless of whether or not the changes noted in the addendum are included in the bid submission.

Mandatory Requirements

Each submission will be evaluated to ensure that it complies with the mandatory requirements and may be rejected if it does not comply. The evaluation of mandatory requirements will confirm that:

- the submission was received prior to the applicable Submission Deadline;
- the bid submission is signed;
- the bid submission is legible;
- the bid submission does not contain a substantive qualification or conditions that are contrary to the terms of the bid document;
- the bid submission does not contain a change in price that was not initialled by the person who signed the submission; and
- the bid submission is in English;

Payment

Payment shall be based on Net 45 Days from date of invoice or receipt of goods/services, whichever is later. Invoices can either be mailed to: City of Saint John, Accounts Payable Department, P.O. Box 1971, Saint John, NB, E2L 4L1, or by email to the Accounts Payable department (accounts payable@saintjohn.ca). Vendors are to ensure invoices are not sent both ways.

Pricing

The tender prices shall include all installation wages, fringe benefits, insurance, transportation, delivery, duty, working tools, equipment costs, and any other charges incurred in order to provide required materials and/or services.

Holdback

A Hold back of 10% of all monies due to the contractor will be retained by the City until 60 days after the substantial completion date of the work, approved by the project manager, and receipt of a statutory declaration.

Substitutes

Substitute products will not be considered (where applicable).

Verbal Agreement

No verbal agreement or conversation with any officer, agent or employee of the owner either before or after execution of the contract shall effect or modify any of the terms or obligations contained in any of the documents comprising the said contract.

Fax Tenders

Tenders received by fax WILL NOT be accepted.

Late Bids

Bids received after the time and date as shown in this document shall not be considered.

Cancellation Clause

In the event that the successful bidder does not comply with the specifications and terms and conditions of this tender, at any time throughout the duration of the contract, the City of Saint John reserves the right to cancel the contract in its entirety.

Basis for Award

A The city does not limit itself to accepting the lowest, or any tender submitted, but reserves the right to award the tender in any manner deemed to be in the City's best interest. It is the City of Saint John's intention to award this agreement to one Vendor.

No guarantee

The City makes no guarantee as to the volume of the Deliverables.

Acceptance, Revocation and Rejection Of Tenders

The bidder agrees that his tender is a firm offer to supply the goods and/or services specified herein at the quoted price, and in accordance with the terms and conditions herein contained. The bidder may revoke his tender at any time prior to the time fixed for tender opening by delivering, or causing to be delivered, written notice of revocation to the designated official at the City of Saint John. Revocation will take effect from the time the notice is actually received. A notice of revocation will not be accepted after the time fixed for tender opening.

The bid shall not be restricted by a statement added to the Tender Form, or by a covering letter, or by alterations to the tender form as supplied, unless otherwise provided herein and further, a tender form that has been altered in any way may be deemed to be a non-confirming bid and, therefore, rejected. Bidders shall be allowed to attach descriptive literature; whose sole purpose is to amplify the bid.

Due Diligence

In the event that a health and safety offence is committed, the onus falls on the employer to prove that it exercised due diligence (i.e. did everything it reasonably could) in order to avoid the offence.

When hiring contractors, the City of Saint John is responsible for ensuring compliance with Health and Safety Legislation and must make sure that the appropriate accident prevention systems are implemented in the workplace.

Therefore, if any contractor is found to be working in an unsafe manner, or outside of current legislation, he will be made to stop work immediately. Any losses which may arise as a result of this work stoppage are the responsibility of the contractor.

Failure to comply with current legislation on the part of the contractor, may lead to cancellation of this contract and any bid deposits that may be in place.

Insurance

The successful contractor shall provide evidence of the following insurance coverage:

General Liability with minimum limits of two million dollars, (\$2,000,000.00). The policy shall include:

- *operations of the contractor in connection with this tender;
- *products and completed operations coverage;
- *contractual liability with respect to this tender;
- *the City of Saint John added as an additional insured;
- *a cross liability clause;
- *non-owned automobile;
- *thirty (30) days notice of cancellation of this policy "will" be given to the City of Saint John, by the insurers;

Standard automobile insurance for owned automobiles with at least the minimum limits allowed by law. This coverage is to remain in effect for the entire time frame of the contract.

WorksafeNB Certificate and Business Corporations Act Certificate

New Brunswick Tenderers shall provide to the City a WorkSafeNB certificate which confirms proper registration and good standing with WorkSafeNB and a Business Corporations Act Certificate which confirms proper registration and good standing with the Province of New Brunswick - Corporate Affairs within five (5) Working Days following the City's notice of selection.

Out-of-province Tenderers shall provide to the City a WorkSafeNB certificate which confirms proper registration and good standing with WorkSafeNB or a letter or certificate issued under the equivalent applicable legislation in the province of origin of the Tenderer confirming extension of coverage from said legislation to the Province of New Brunswick for the term of the Contract. Subject to paragraph c), out-of-province Tenderers shall also provide a Business Corporations Act Certificate which confirms proper registration and good standing with the Province of New Brunswick - Corporate Affairs within five (5) Working Days following the City's notice of selection.

Tenderers from Nova Scotia may submit the appropriate Business Corporations Act Certificate from the Province of Nova Scotia.

Reserved Rights

The City reserves the right to:

- a) Reject an unbalanced bid submission. For the purpose of this section, an unbalanced bid submission is a bid submission containing a unit price which deviates substantially from, or does not fairly represent reasonable and proper compensation for the unit of work bid or one that contains prices which appear to be so unbalanced as to adversely affect the interests of the City.

- The City reserves the right to use other bids submitted in response to this bid solicitation or for other like or similar work as a guideline in determining if a bid is unbalanced.
- b) Amend or modify the scope of the Work, and/or cancel or suspend the bid award, at any time for any reason;
 - c) Require bidders to provide additional information after the submission deadline to support or clarify their bid submission;
 - d) Not accept any or all bids;
 - e) Not accept a bid submission from a bidder who is itself, or whose principals, owners or directors are also principals, owners or directors of another entity which is, involved in litigation, arbitration or any other similar proceeding against the City;
 - f) Reject any or all bid submissions without any obligation, compensation or reimbursement to any bidder or any of its team members;
 - g) Withdraw this bid solicitation and cancel or suspend the bid process;
 - h) Extend, from time to time, any date, any time period or deadline provided in this bid solicitation (including, without limitation, the submission deadline), upon written notice to all bidders;
 - i) Assess and reject a bid submission on the basis of:
 - (i) information provided by references;
 - (ii) the bidder's past performance on previous contracts;
 - (iii) the information provided by a bidder pursuant to the City exercising its clarification rights under this bid process;
 - (iv) the bidder's experience with performing the type and scope of work specified;
 - (v) other relevant information that arises during this procurement process;
 - j) Waive formalities and accept bids which substantially comply with the requirements of this bid solicitation;
 - k) Verify with any bidder or with a third party any information set out in a bid submission;
 - l) Disqualify any bidder whose bid submission contains misrepresentations or any other inaccurate or misleading information;
 - m) Disqualify any bidder who has engaged in conduct prohibited by the bid solicitation;
 - n) Make changes, including substantial changes, to the bid solicitation provided that those changes are issued by way of addenda in the manner set out in this bid document;
 - o) Select any bidder other than the bidder whose bid submission reflects the lowest cost to the City;

- p) Cancel this procurement process at any stage, for any reason;
- q) Cancel this procurement process at any stage and issue a new bid solicitation for the same or similar deliverables;
- r) Accept any bid submission in whole or in part;
- s) Waive minor non-compliance with the mandatory requirements of the bid solicitation and accept the bid submission; or
- t) Accept a bid submission which contains the following errors:
 - (i) error in mathematics – whether this involves the extension of a unit price or an error in addition, the mistake will be corrected and the correct total will be used for evaluation purposes and will be binding on the bidder.
 - (ii) conflict between the written and numerical bid prices. In all cases, the total bid price will be corrected to reflect the written bid price, whether lump sum or unit price (where applicable).
 - (iii) failure to include the contingency allowance in the total bid price (where applicable). If the contingency allowance was not included in the addition, the bid price shall be corrected to reflect its inclusion.

and these reserved rights are in addition to any other express rights or any other rights which may be implied in the circumstances and the City shall not be liable for any expenses, costs, losses or any direct or indirect damages incurred or suffered by any bidder or any third party resulting from the City exercising any of its express or implied rights under this bid solicitation.

By submitting a bid, the bidder authorizes the collection by the City of the information set out at paragraph i) in the manner contemplated in that subparagraph.

Limitation of Liability and Waiver

Each bidder, by submitting a bid, agrees that:

- a) Neither the City nor any of its employees, agents, advisors or representatives will be liable, under any circumstances, for any Claim arising out of this procurement process including but not limited to costs of preparation of the bid submission, loss of profits, loss of opportunity or for any other Claim; and
- b) The bidder waives any Claim for any compensation of any kind whatsoever, including Claims for cost of preparation of the bid submission, loss of profit or loss of opportunity by reason of the City's decision to not accept the bid submitted by the bidder, to award a Contract to any other bidder or to cancel this procurement process, and the bidder shall be deemed to have agreed to waive such right or Claim.

Validity Period

The bid submission constitutes an offer which shall remain open and irrevocable until 90 days after the submission deadline.

Minor Irregularities

The City of Saint John reserves the right to waive minor non-compliances in accordance with Section 120 of the Province of New Brunswick's Regulation 2014-93 under the Procurement Act.

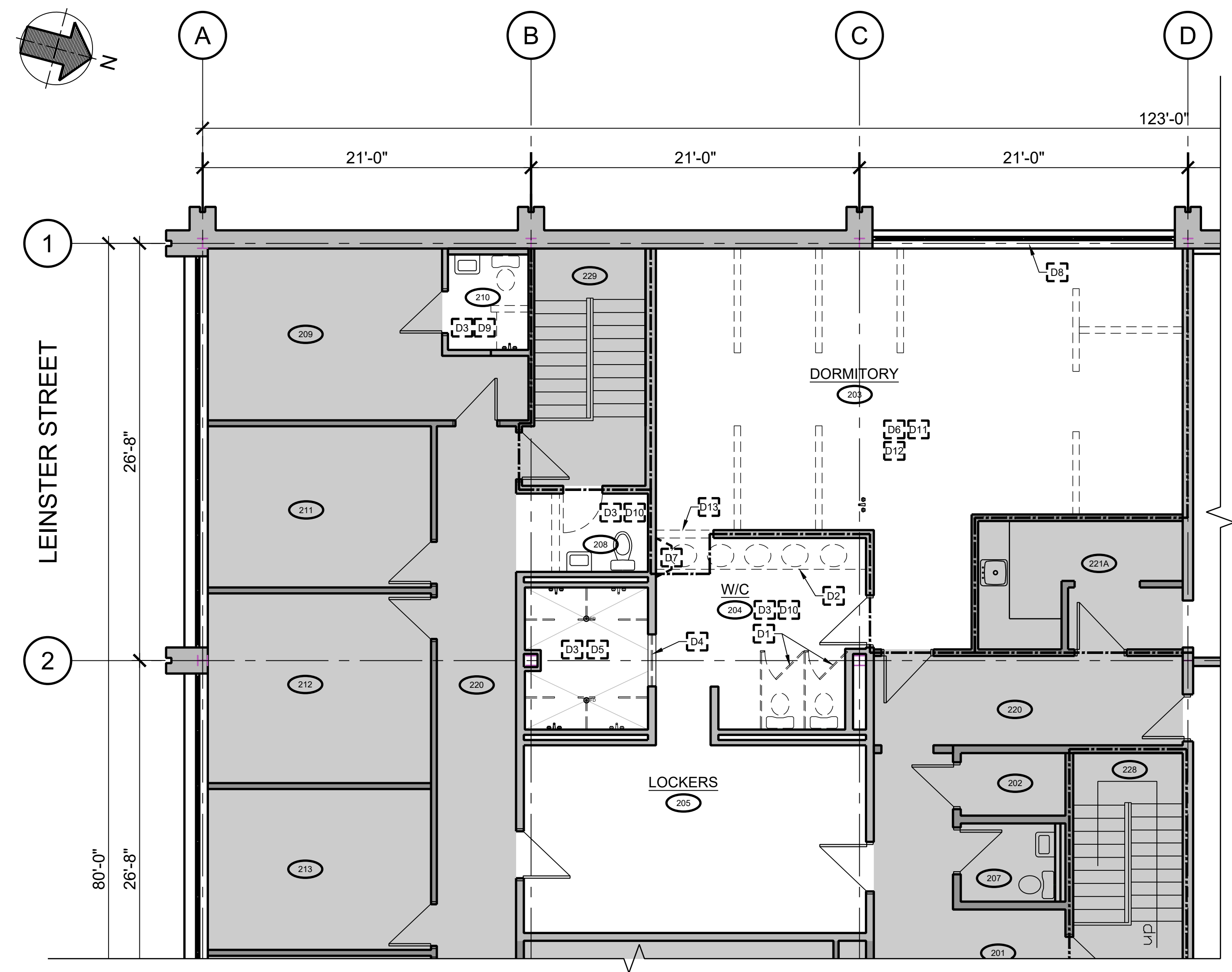
APPENDIX A – SPECIFICATIONS

**TENDER No. 2023-085103T
RETROFIT OF LIVING QUARTERS – FIRE STATION 1**

CLIENT:
 CITY OF SAINT JOHN
 15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

CONSULTANTS:
 ARCHITECT: TOSS SOLUTIONS
 INTERIOR DESIGN: TOSS SOLUTIONS
 MECHANICAL ENGINEERING: FUNDY ENGINEERING
 ELECTRICAL ENGINEERING: FUNDY ENGINEERING
 STRUCTURAL ENGINEERING: FUNDY ENGINEERING
 CIVIL ENGINEERING: FUNDY ENGINEERING
 ACUSTIC SPECIALIST: FUNDY ENGINEERING
 LANDSCAPE ARCHITECT: FUNDY ENGINEERING

DRAWING LIST:
 INTERIOR DESIGN
 ID0.0 GENERAL LEGENDS & KEY PLAN
 ID1.0 DEMOLITION PLAN & FLOOR PLAN
 ID2.0 REFLECTED CEILING PLAN, DEMOLITION & NEW
 ID3.0 FINISHES PLAN & SCHEDULE
 ID4.0 INTERIOR ELEVATIONS
 ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE
 ID5.0 ENLARGED PLANS & DETAILS, WASHROOMS
 ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES
 ID7.0 INTERIOR SPECIFICATIONS
 MECHANICAL
 M1.0 PLUMBING
 M2.0 VENTILATION
 M3.0 SPECIFICATIONS
 ELECTRICAL
 E1.0 DEMOLITION AND NEW POWER & COMMUNICATION LAYOUT
 E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT
 E3.0 ELECTRICAL SPECIFICATIONS



A DEMOLITION PLAN
 ID1.0 SCALE: 3/16" = 1'-0"



B FLOOR PLAN
 ID1.0 SCALE: 3/16" = 1'-0"

FLOOR PLAN LEGEND	
--- (Dashed)	LIMITS OF CONTRACT
(E) (Solid)	EXISTING
(N) (Solid)	NEW OR CONSTRUCTED
(RL) (Dashed)	RELOCATED OR REMOVED
(2 HR) (Dashed)	2 HR. FIRE RATED ASSEMBLY
(1 HR) (Dashed)	1 HR. FIRE RATED ASSEMBLY
(90 MIN) (Dashed)	90 MIN. FIRE RATED ASSEMBLY
(45 MIN) (Dashed)	45 MIN. FIRE RATED ASSEMBLY
EP (Symbol)	ELECTRICAL PANEL
FE (Symbol)	FIRE EXTINGUISHER (SEMI-RECESSED 10 lbs ABC)
PB (Symbol)	DOOR OPERATOR PUSH BUTTON
CR (Symbol)	PROXIMITY CARD READER
T (Symbol)	THERMOSTAT
FD (Symbol)	FLOOR DRAIN
CO (Symbol)	FLOOR CLEANOUT

DEMOLITION NOTES	
NOTES	
D1	REMOVE METAL TOILET PARTITIONS.
D2	REMOVE LAMINATE COUNTERTOP & BACKSPASH; REFER TO MECHANICAL FOR REMOVAL &/OR REUSE OF SINKS & FAUCETS, AS REQUIRED.
D3	ALL WASHROOM ACCESSORIES TO BE REMOVED FROM WALLS &/OR TOILET PARTITIONS. REFER TO ID5.0 FOR SCHEDULE INDICATING REUSE &/OR NEW WASHROOM ACCESSORIES, LOCATIONS & MOUNTING HEIGHTS.
D4	REMOVE ACRYLIC DOOR SYSTEM, INCLUDING STAINLESS STEEL CHANNEL FRAME.
D5	REMOVE LAMINATE TOILET PARTITIONS.
D6	REMOVE PARTIAL HEIGHT PARTITIONS.
D7	REMOVE WALL TILE AT NEW DORMITORY 203 LAYOUT; MAKE GOOD FOR SPECIFIED FINISH.
D8	INTERIOR ROLLER SHADE TO BE REMOVED & STORED FOR REUSE. CLEAN USING MANUFACTURER APPROVED SOLUTION PRIOR TO RE-INSTALLATION. CONFIRM ROLLER SHADES ARE OPERATIONAL. REPLACE DAMAGED OR MISSING PARTS & COMPONENTS; AS REQUIRED.
D9	REMOVE EXISTING FLOOR TILE & WALL BASE TILE; MAKE GOOD FOR NEW SPECIFIED FINISH.
D10	REMOVE EXISTING COVE BASE TILE; MAKE GOOD FOR NEW SPECIFIED FINISH.
D11	REMOVE EXISTING RESILIENT FLOORING & RUBBER WALL BASE. REMOVE ALL TRACE & RESIDUAL ADHESIVE FROM PRIOR INSTALLATION; MAKE GOOD FOR NEW SPECIFIED FINISH.
D12	REMOVE EXISTING COAT HOOKS; SALVAGE FOR REUSE. SEE INTERIOR ELEVATIONS FOR NEW LOCATIONS.
D13	REMOVE CONCRETE MASONRY BLOCK TO U/S OF DECK TO ACCOMMODATE NEW OPENING. ALLOW NEW SPECIFIED PARTITION TO CONTINUE PAST EDGE OF REMAINING CONCRETE MASONRY BLOCK.

FLOOR PLAN NOTES	
NOTES	
1	RELOCATION & STORAGE OF LOCKERS, BEDS, ANCILLARY FURNITURE & ACCESSORIES TO BE COMPLETED BY CITY OF SAINT JOHN PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES ON SITE; COORDINATE WITH G.C. SCHEDULE.
2	PATCH, REPAIR & MAKE GOOD, FOR NEW SPECIFIED FINISH ANY & ALL EXISTING ADJACENT SURFACES AFFECTED BY, OR DAMAGED AS A RESULT OF DEMOLITION &/OR CONSTRUCTION ACTIVITIES.
3	INFILL TO BE SIMILAR TO PARTITION ASSEMBLY TYPE P1, USING METAL STUDS OF APPROPRIATE SIZE TO MATCH DEPTH OF EXISTING CONCRETE MASONRY PARTITION IN WHICH IT IS LOCATED. FIRE SEPARATION TO BE MAINTAINED.
4	WHERE NEW PARTITION MEETS EXISTING ASSEMBLY, ENSURE FLUSH, CONTINUOUS SURFACE.
5	ALL SERVICES, SWITCHES, ETC. TO BE BROUGHT FORWARD TO NEW FINISHED SURFACE.
6	WHERE SURFACE MOUNTED SERVICES (SURFACE MOUNT CONDUIT, SWITCHES, ACCESSORIES, ETC.) HAVE BEEN REMOVED, SURFACE TO BE PATCHED, & MADE GOOD FOR SPECIFIED FINISH.
7	PROVIDE BLOCKING FOR SHELVES, & SURFACE MOUNT READING LAMPS, REFER TO INTERIOR ELEVATIONS.

PARTITION ASSEMBLIES	
NOTES	
1	ALL PARTITIONS TO BE P1 UNLESS OTHERWISE NOTED.
2	PROVIDE A DEFLECTION CHANNEL AT ALL PARTITIONS EXTENDING TO THE UNDERSIDE OF METAL DECKING OR STRUCTURE. PACK DEFLECTION JOINT WITH MINERAL WOOL AT RATED PARTITIONS.
3	FOR ACOUSTIC PARTITIONS; PROVIDE A CONTINUOUS ACOUSTIC SEALANT ALONG THE TOP & BASE, ON BOTH SIDES OF PARTITION. ACOUSTICALLY SEAL ALL PENETRATIONS. PROVIDE RESILIENT GASKET BETWEEN DECK/FLOOR & TRACK.
4	FOR RATED PARTITIONS; PROVIDE A CONTINUOUS FIRE RATED SEALANT ALONG THE TOP & BASE, ON BOTH SIDES OF PARTITION. PROVIDE RESILIENT GASKET BETWEEN DECK/FLOOR & TRACK. PROVIDE AN APPROVED FIRE STOP SYSTEM TO SEAL ALL PENETRATIONS.
5	USE MOISTURE RESISTANT GYPSUM BOARD AT ALL WASHROOMS & SHOWER ROOMS.
P1	PARTITION U/S OF DECK - 5/8" TYPE "X" GYPSUM BOARD* - 3 5/8" METAL STUDS @ 16" O.C. - ACOUSTIC BATT INSUL. TO FILL CAVITY - 5/8" TYPE "X" GYPSUM BOARD* - 1/2" GAP CAULKED TOP & BOTTOM
P2	PARTITION U/S OF CEILING - 5/8" TYPE "X" GYPSUM BOARD* - 3 5/8" METAL STUDS @ 16" O.C. - ACOUSTIC BATT INSUL. TO FILL CAVITY - 5/8" TYPE "X" GYPSUM BOARD* - 1/2" GAP CAULKED TOP & BOTTOM
P3	PARTITION U/S OF CEILING - 5/8" TYPE "X" GYPSUM BOARD* - 2 1/2" METAL STUDS @ 16" O.C. - ACOUSTIC BATT INSUL. TO FILL CAVITY - 5/8" TYPE "X" GYPSUM BOARD* - 1/2" GAP CAULKED TOP & BOTTOM
P4	PARTITION UP TO 60" A.F.F. - 5/8" TYPE "X" GYPSUM BOARD* - 3 5/8" METAL STUDS @ 16" O.C. - 5/8" TYPE "X" GYPSUM BOARD* - WOOD BLOCKING AS REQUIRED, - 1/2" REVEAL, Z SHADOW BEAD - 3/4" WOOD TRIM, STAIN GRADE

SUBMISSIONS:

REV.	DATE	ISSUE
0	JULY 14, 2023	ISSUED FOR TENDER

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PROFESSIONAL SEAL:

REGISTERED PROFESSIONAL ENGINEER
 JENNIFER GREENE
 DATE: July 14, 2023

PROJECT NAME:
 LIVING QUARTERS
 FIRE STATION NO. 1
 45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:
 DEMOLITION PLAN &
 FLOOR PLAN

PROJECT NO.: 22-09 (509) **DATE:** JUNE 2023
DWG. SCALE: AS SHOWN **PLOT SCALE:** 1:1
DWG. NO.: ID1.0 **REV. NO.:** 0

CLIENT:

CITY OF SAINT JOHN
 15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

CONSULTANTS:

ARCHITECT: TOSS SOLUTIONS
 INTERIOR DESIGN: TOSS SOLUTIONS
 MECHANICAL ENGINEERING: FUNDY ENGINEERING
 ELECTRICAL ENGINEERING: FUNDY ENGINEERING
 STRUCTURAL ENGINEERING: FUNDY ENGINEERING
 CIVIL ENGINEERING: FUNDY ENGINEERING
 ACUSTIC SPECIALIST: FUNDY ENGINEERING
 LANDSCAPE ARCHITECT: FUNDY ENGINEERING

DRAWING LIST:

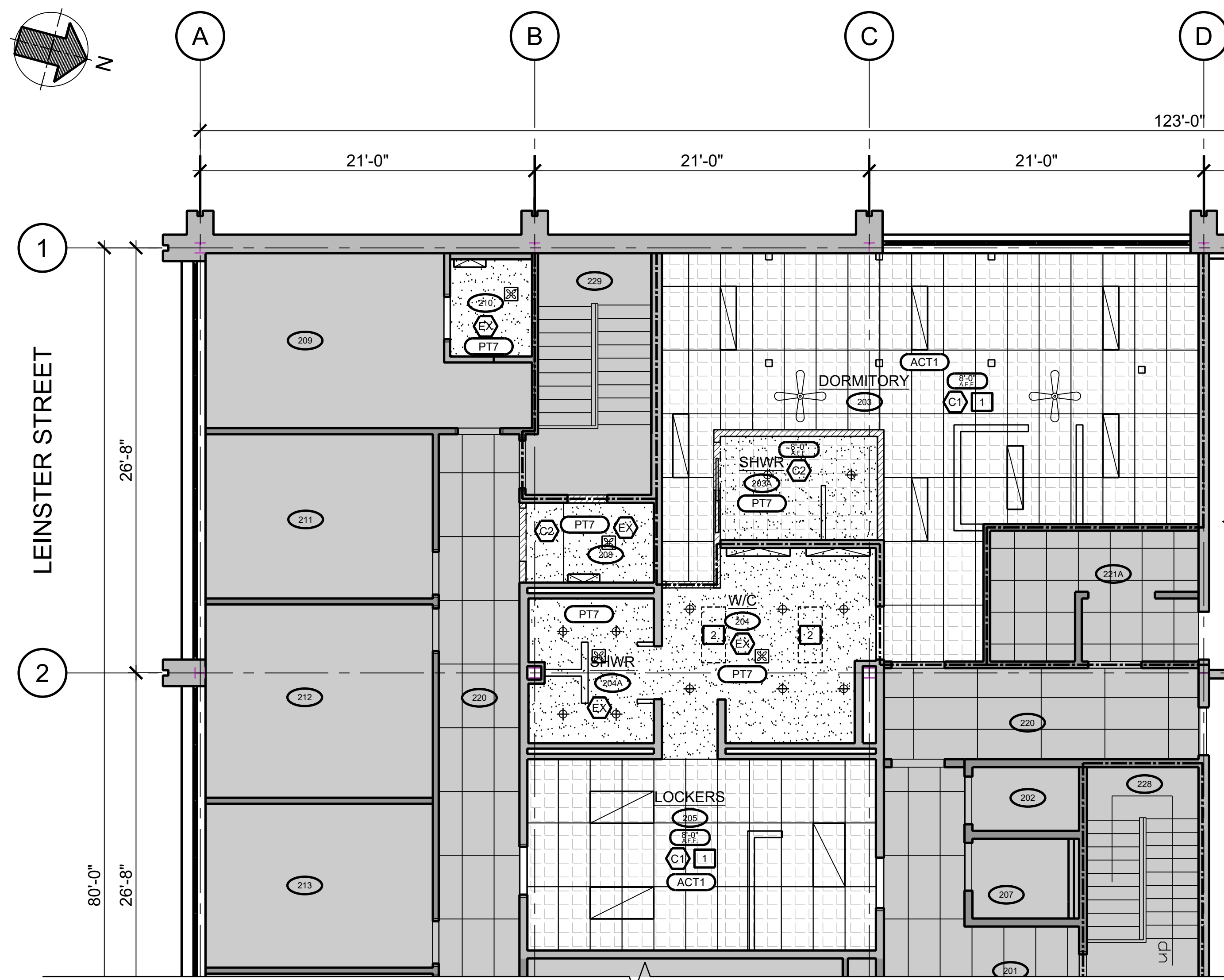
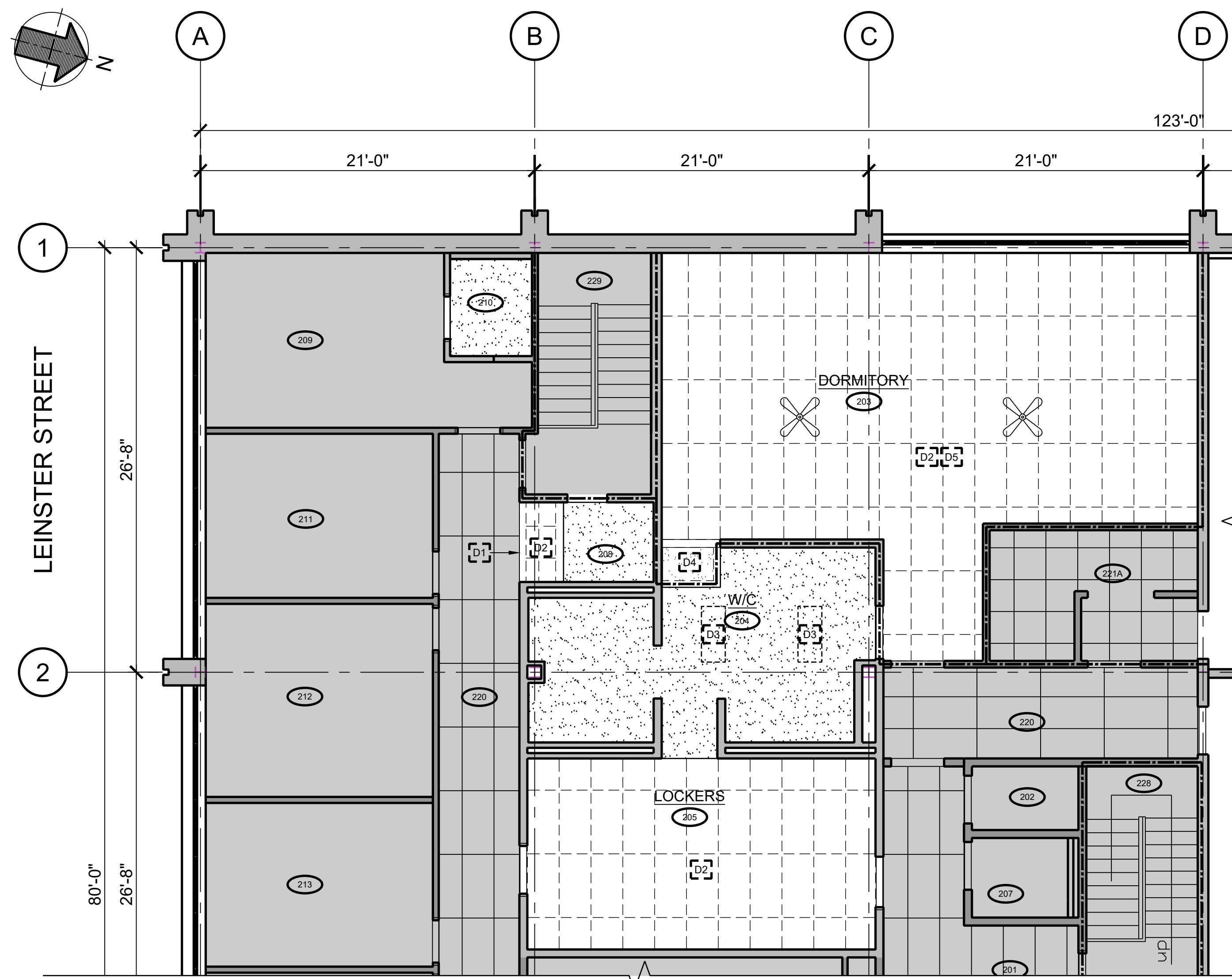
INTERIOR DESIGN
 ID0.0 GENERAL LEGENDS & KEY PLAN
 ID1.0 DEMOLITION PLAN & FLOOR PLAN
 ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW
 ID3.0 FINISHES PLAN & SCHEDULE
 ID4.0 INTERIOR ELEVATIONS
 ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE
 ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS
 ID6.0 DOOR, FRAME & HARDWARE DETAILS & SCHEDULES
 ID7.0 INTERIOR SPECIFICATIONS

MECHANICAL

M1.0 PLUMBING
 M2.0 VENTILATION
 M3.0 SPECIFICATIONS

ELECTRICAL

E1.0 DEMOLITION AND NEW POWER & COMMUNICATION LAYOUT
 E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT
 E3.0 ELECTRICAL SPECIFICATIONS



A REFLECTED CEILING PLAN: DEMOLITION
 ID2.0 SCALE: 3/16" = 1'-0"

B REFLECTED CEILING PLAN: NEW
 ID2.0 SCALE: 3/16" = 1'-0"

REFLECTED CEILING LEGEND	
	NEW GYPSUM BOARD BULKHEAD/CEILING (SEE REFLECTED CEILING PLAN)
	NEW INTERIOR PARTITIONS PENETRATING CEILING (SEE REFLECTED CEILING PLAN)
	CEILING HEIGHT ABOVE FINISHED FLOOR
	SUSPENDED ACOUSTIC CEILING GRID
	SPRAY APPLIED RIGID POLYURETHANE FOAM INSULATION, APPROXIMATE AREA.
	12" X 48" LED LIGHT FIXTURE (SEE ELECTRICAL)
	24" X 48" RECESSED LED LIGHT FIXTURE (SEE ELECTRICAL)
	RECESSED DOWN LIGHT (SEE ELECTRICAL)
	SURFACE MOUNT VANITY LIGHTING (SEE ELECTRICAL)
	READING LAMP (SEE ELECTRICAL)
	CEILING FAN (SEE ELECTRICAL)
	EXTRACTION FAN (SEE MECHANICAL)

CEILING DEMOLITION NOTES	
NOTES	
1. SEE FINISH LEGEND FOR CEILING FINISHES.	
2. ALL SUSPENSION CEILING TILES ARE CENTERED WITHIN ROOMS.	
	GYPSUM BOARD BULKHEAD TO BE DEMOLISHED. PROVIDE NEW PERIMETER TRIM AT CORRIDOR, AS REQUIRED.
	EXISTING CEILING TILE & GRID TO BE REMOVED.
	EXISTING RADIANT HEATER TO BE REMOVED. REFER TO ELECTRICAL.
	EXISTING GYPSUM BOARD CEILING TO BE REMOVED TO EXTENT OF NEW PARTITION. FIRE SEPARATION TO BE MAINTAINED.
	EXISTING CEILING MOUNTED FANS TO BE RELOCATED. REFER TO ELECTRICAL.

REFLECTED CEILING NOTES	
NOTES	
1. SEE FINISH LEGEND FOR CEILING FINISHES.	
2. ALL SUSPENSION CEILING TILES ARE CENTERED WITHIN ROOMS.	
3. PATCH, REPAIR & MAKE GOOD, FOR NEW SPECIFIED FINISH ANY & ALL EXISTING ADJACENT SURFACES AFFECTED BY, OR DAMAGED AS A RESULT OF DEMOLITION &/OR CONSTRUCTION ACTIVITIES.	
	HATCHED AREA REPRESENTS AREAS TO RECEIVE NEW SPRAY-APPLIED RIGID POLYURETHANE FOAM INSULATION, MEDIUM DENSITY.
	CEILING TO BE PATCHED, REPAIRED & MADE GOOD WHERE RADIANT HEATER PANELS ARE REMOVED. ENSURE, FLUSH CONTINUOUS SURFACE.

CEILING ASSEMBLIES	
NOTES	
1. ALL CEILINGS TO BE C1 UNLESS OTHERWISE NOTED.	
2. ALL MOUNTING POINTS ARE TO BE WITHIN SUBSTRATES TO SUPPORT MATERIAL LOADS.	
3. ALL TILE PATTERNS ARE TO BE CENTERED WITHIN ROOMS AND EQUAL ON ALL SIDES, UNLESS OTHERWISE NOTED.	
4. ALL CEILING MATERIALS ARE TO COMPLY WITH MINIMUM FIRE SPREAD RATINGS: >75 FLAME SPREAD IN NON SPRINKLERED BUILDINGS >150 FLAME SPREAD IN SPRINKLERED BUILDINGS	
5. HOLD DOWN CLIPS ARE TO BE PROVIDED AS PART OF ANY SUSPENDED CEILING SYSTEM WITHIN VESTIBULES OR ENTRIES.	
	EXISTING
	ACOUSTIC CEILING TILE & GRID - SUSPENDED GRID & TRACK (SEE FINISHES) - ACOUSTIC TILE INSET (SEE FINISHES)
	SUSPENDED GYPSUM BOARD - SUSPENDED GYPSUM BOARD (SEE FINISHES)
	GYPSUM BOARD BULKHEAD - 5/8" GYPSUM BOARD - 3 5/8" METAL STUDS @ 16" O.C. FRAMING

SUBMISSIONS:			
	Drawn By:	Approved By:	
	Drawn By:	Approved By:	
	Drawn By:	Approved By:	
	Drawn By:	Approved By:	
	Drawn By:	Approved By:	
	Drawn By:	Approved By:	
0	JULY 14, 2023	ISSUED FOR TENDER	
	Drawn By: MC	Approved By: BB	
REV.	DATE	ISSUE	

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PROFESSIONAL SEAL:

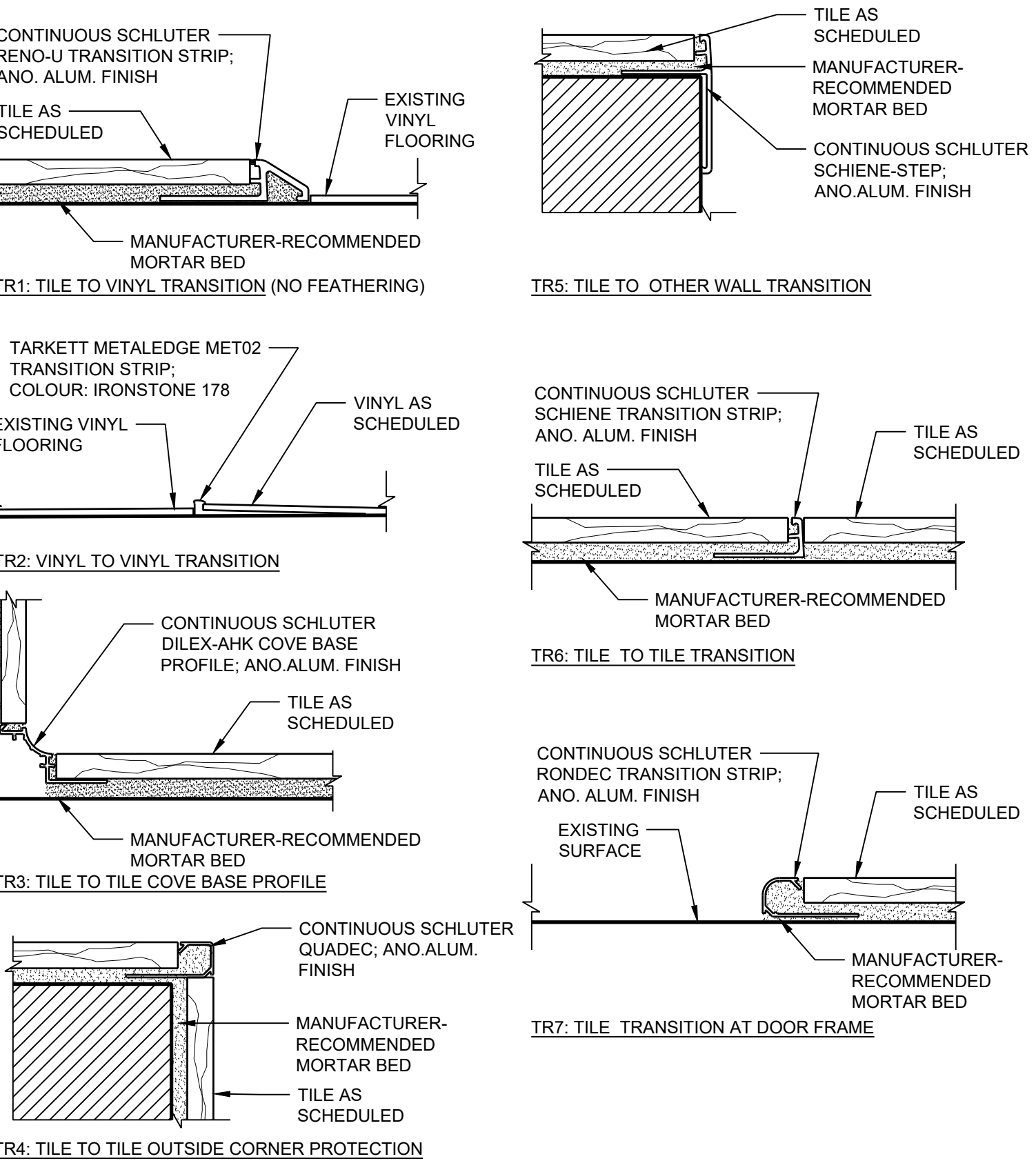
PROJECT NAME:
 LIVING QUARTERS
 FIRE STATION NO. 1
 45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:
 REFLECTED CEILING PLAN:
 DEMOLITION & NEW

PROJECT NO: 22-09 (509)	DATE: JUNE 2023
DWG. SCALE: AS SHOWN	PLOT SCALE: 1 : 1
DWG. NO: ID2.0	REV. NO: 0



A FINISHES FLOOR PLAN
 ID3.0 SCALE: 3/16" = 1'-0"



FINISHES PLAN LEGEND	
	EXTENT OF FINISH (STOPS AND STARTS)
	FINISH TRANSITION (SEE NOTES ABOVE FOR MATERIALS)
	T1 - TILE FLOORING
	T2 - MOSAIC TILE FLOORING
	LVT1 - RESILIENT FLOORING

FINISHES PLAN NOTES	
NOTES	
1.	WALL FINISH TO BE PAINT TYPE PT1 UNLESS NOTED OTHERWISE.
2.	INSTALLATION DIRECTION OF LINEAR FLOOR PRODUCT AS INDICATED ON FINISHES PLAN.
1.	WALL SURFACES TO BE PATCHED & REPAIRED, AS REQUIRED TO ENSURE A LEVEL SURFACE FOR INSTALLATION OF NEW SPECIFIED WALL TILE, INCLUDING WHERE EXISTING WALL TILE IS MISSING &/OR DAMAGED. PREPARE ALL EXISTING WALL TILE TO REMAIN USING MULTIPURPOSE BOND-PROMOTING PRIMER M2.
2.	APPLY WATERPROOFING MEMBRANE, M1 OVER EXISTING WALL TILES TO PREPARE SURFACE FOR NEW SPECIFIED WALL TILE.
3.	FLOOR SURFACED TO BE PATCHED & REPAIRED, AS REQUIRED TO ENSURE A LEVEL SURFACE FOR INSTALLATION OF NEW SPECIFIED FLOOR TILE, INCLUDING WHERE EXISTING FLOOR TILE IS MISSING &/OR DAMAGED. PREPARE ALL EXISTING FLOOR TILE TO REMAIN USING MULTIPURPOSE BOND-PROMOTING PRIMER M2.
4.	APPLY WATERPROOFING MEMBRANE, M1 OVER EXISTING FLOOR TILE TO PREPARE SURFACE FOR NEW SPECIFIED FLOOR TILE. MAINTAIN SLOPE TO DRAINAGE.

FINISH SCHEDULE					
ACOUSTIC CEILING TILES					
CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION:	REMARKS / NOTES:
ACT1	ACOUSTIC CEILING TILE USG RADAR	USG-CGG CEILING SOLUTIONS	STYLE #: 2310 EDGE TYPE: SQUARE EDGE COLOUR: WHITE SIZE: 24" X 48"	FIELD (SEE RCP)	GRID: USG DONN DX/DXL, FLAT WHITE
PAINT					
CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION: (WALL APPLICATION U.N.O.)	REMARKS / NOTES:
PT1	PAINT FINISH: EGGSHELL	BENJAMIN MOORE, ULTRA SPEC 500	CC-40, CLOUD WHITE	FIELD	
PT2	PAINT FINISH: SEMI-GLOSS	BENJAMIN MOORE, ULTRA SPEC 500	CC-40, CLOUD WHITE	DOORS & FRAMES : D205A, D205B, D208A	
PT3	PAINT FINISH: EGGSHELL	BENJAMIN MOORE, ULTRA SPEC 500	AF-690, METROPOLITAN	ACCENT	
PT4	PAINT FINISH: SEMI-GLOSS	BENJAMIN MOORE, ULTRA SPEC 500	AF-690, METROPOLITAN	DOORS & FRAMES: D203A, D204A, D204B, D220A, D221AA; FRAME: D220B	
PT5	PAINT FINISH: FLAT	BENJAMIN MOORE, ULTRA SPEC 500	CC-40, CLOUD WHITE	DRYWALL CEILING & BULKHEADS	
PT6	PAINT FINISH: EGGSHELL	BENJAMIN MOORE, ULTRA SPEC 500	CW-590, WILLIAMSBURG WYTHE BLUE	ACCENT	
PT7	PAINT FINISH: MATTE	BENJAMIN MOORE, AURA BATH & SPA	CC-40, CLOUD WHITE	DRYWALL CEILING: SHOWER 203A & 204A; WASHROOM 204, 208, 210	
PT8	PAINT FINISH: SATIN	BENJAMIN MOORE, AURA	CC-40, CLOUD WHITE	FIELD AT SHOWER 203A & 210	
PT9	PAINT FINISH: SATIN	BENJAMIN MOORE, AURA	CW-590 WILLIAMSBURG WYTHE BLUE	ACCENT AT SHOWER 203A & 210	
*** GENERAL CONTRACTOR TO PROVIDE OWNER &/OR PROPERTY WITH PAINT SUPPLIER & FORMULAS FOR FUTURE & ON-GOING TOUCH UPS *** *** (1) COAT PRIMER & (2) COATS PAINT ARE REQUIRED (MINIMUM) ***					
TILE FLOORING					
CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION:	REMARKS / NOTES:
T1	FLOOR TILE	CENTURA	COLLECTION: GLOCAL COLOUR: CLASSIC FINISH: NATURAL SIZE: 12" X 24" INSTALL: STACK	SHOWER 203A, WASHROOM 204, LOCKERS 205, WASHROOM 210	GROUT: MAPEI, KERABOND COLOUR: 107 IRON LINE WIDTH: 1/8" MAX. TO BE INSTALLED WITH B2
T2	FLOOR TILE	CENTURA	COLLECTION: GLOCAL COLOUR: CLASSIC FINISH: STRUTTURATO SIZE: 12" X 12", MOSAIC INSTALL: STACK	SHOWER 204A	GROUT: MAPEI, KERABOND COLOUR: 107 IRON LINE WIDTH: 1/8" MAX.
WALL TILE					
CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION:	REMARKS / NOTES:
WT1	WALL TILE	OLYMPIA TILE	COLLECT. COLOUR & DIMENSION COLOUR: WARM WHITE FINISH: BRIGHT SIZE: 8" X 20" INSTALL: STACK	WASHROOM 204 & SHOWER 204A	GROUT: MAPEI, KERABOND COLOUR: 107 IRON LINE WIDTH: 1/8" MAX.
WT2	WALL TILE	CERATEC SURFACES	COLLECTION: HABITAT COLOUR: SUGAR FINISH: GLOSSY SIZE: 8" X 8" INSTALL: STACK	SHOWER 204A	GROUT: MAPEI, KERABOND COLOUR: 107 IRON LINE WIDTH: 1/8" MAX.
VINYL FLOORING					
CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION:	REMARKS / NOTES:
LVT1	VINYL PLANK	TARKETT	COLLECTION: EVEN PLANE COLOUR: CITIZEN OAK NATURAL SIZE: 7.87" X 47.2" INSTALL: ASHLAR	DORMITORY 203, WASHROOM 208	TO BE INSTALLED WITH WALL BASE B1, UNLESS NOTED OTHERWISE (SEE FINISH PLAN).
WALL BASE					
CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION:	REMARKS / NOTES:
B1	RUBBER WALL BASE SERIES: TRADITIONAL C/W TOE SIZE: 4" HIGH	TARKETT	COLOUR: PEBBLE, 32	AT LVT FLOORING IN DORMITORY 203 & WASHROOM 208; LOCKERS 205 TO OUTSIDE CORNERS AT WASHROOM 204	
B2	TILE BASE SIZE: CUT TO 4" H	CENTURA	COLLECTION: GLOCAL COLOUR: CLASSIC FINISH: NATURAL	AT TILE FLOORING IN DORMITORY 203, SHOWER 203A, WASHROOM 204 TO OUTSIDE CORNERS AT LOCKERS 205, SHOWER 204A, WASHROOM 210	GROUT: MAPEI, KERABOND COLOUR: 107 IRON LINE WIDTH: 1/8" MAX. TO BE INSTALLED WITH TR6
TRIMS & TRANSITIONS					
CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION:	REMARKS / NOTES:
TR1	FLOORING TRANSITION	SCHLUTER	STYLE: RENO-U FINISH: ANO. ALUMINUM, SATIN	WHERE TILE FLOORING MEETS EXISTING &/OR NEW VINYL FLOORING	
TR2	FLOORING TRANSITION	TARKETT	STYLE: METAL EDGE FINISH: IRONSTONE	WHERE NEW VINYL FLOORING MEETS EXISTING VINYL FLOORING	
TR3	COVE PROFILE	SHCLUTER	STYLE: DILEX-AHK FINISH: ANO. ALUMINUM, SATIN	HORIZONTAL & VERTICAL INSIDE CORNERS AT SHOWER 204A	
TR4	OUTSIDE CORNER PROTECTION	SCHLUTER	STYLE: QUADREC FINISH: ANO. ALUMINUM, SATIN	ALL TILE OUTSIDE CORNERS AT WASHROOM 204 & SHOWER	INSTALL COMPLETE WIT END CAPS, AS REQUIRED
TR5	OUTSIDE CORNER WALL TRANSITION	SCHLUTER	STYLE: SCHIENE-STEP FINISH: ANO. ALUMINUM, SATIN	OUTSIDE CORNERS AT WASHROOM 204/LOCKER 205	
TR6	TILE EDGE TRIM	SCHLUTER	STYLE: JOLLY FINISH: ANO. ALUMINUM, SATIN	TILE WALL BASE CAP (TYPICAL) & TRANSITION BETWEEN TILE WALL BASE & WALL TILE ABOVE	
TR7	TILE EDGE TRIM	SCHLUTER	STYLE: RONDEC FINISH: ANO. ALUMINUM, SATIN	WALL TILE TRIM AT DOOR FRAME	INSTALL COMPLETE WITH END CAPS, AS REQUIRED.
*** FLOORING CONTRACTOR TO SOURCE & PROVIDE DEPTH OF TRIM FOR DESIGNER APPROVAL PRIOR TO PROCUREMENT ***					
MISCELLANEOUS					
CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION:	REMARKS / NOTES:
M1	WATERPROOFING MEMBRANE	SCHLUTER	KERDI	WALLS & FLOORS TO RECEIVE NEW TILE AT SHOWER ROOM 204A; & WALLS TO RECEIVE NEW TILE AT WASHROOM 204	INSTALL COMPLETE WITH KERDI-BAND, AS REQUIRED.
M2	MULTIPURPOSE, BOND-PROMOTING PRIMER	MAPEI	ECO PRIM GRIP	EXISTING WALL & FLOOR TILE, WHERE NEW SPECIFIED TILE IS TO BE INSTALLED	

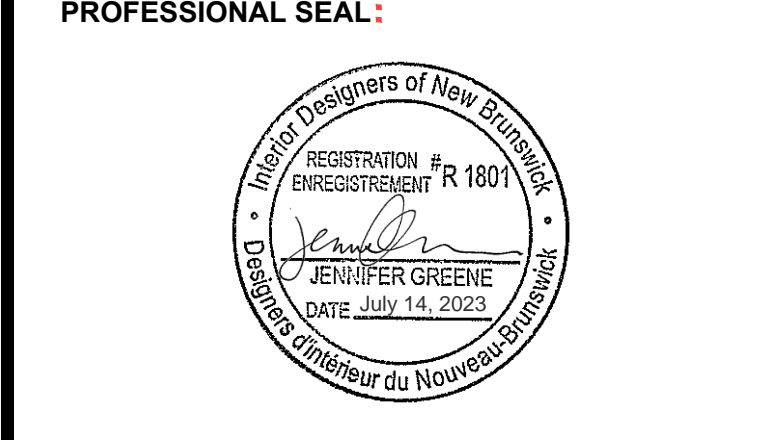
CLIENT:
 CITY OF SAINT JOHN
 15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

CONSULTANTS:
 ARCHITECT: TOSS SOLUTIONS
 INTERIOR DESIGN: TOSS SOLUTIONS
 MECHANICAL ENGINEERING: FUNDY ENGINEERING
 ELECTRICAL ENGINEERING: FUNDY ENGINEERING
 STRUCTURAL ENGINEERING: FUNDY ENGINEERING
 CIVIL ENGINEERING: FUNDY ENGINEERING
 ACOUSTIC SPECIALIST: FUNDY ENGINEERING
 LANDSCAPE ARCHITECT: FUNDY ENGINEERING

DRAWING LIST:
 INTERIOR DESIGN
 ID0.0 GENERAL LEGENDS & KEY PLAN
 ID1.0 DEMOLITION PLAN & FLOOR PLAN
 ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW
 ID3.0 FINISHES PLAN & SCHEDULE
 ID4.0 INTERIOR ELEVATIONS
 ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE
 ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS
 ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES
 ID7.0 INTERIOR SPECIFICATIONS
 MECHANICAL
 M1.0 PLUMBING
 M2.0 VENTILATION
 M3.0 SPECIFICATIONS
 ELECTRICAL
 E1.0 DEMOLITION AND NEW POWER & COMMUNICATION LAYOUT
 E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT
 E3.0 ELECTRICAL SPECIFICATIONS

REV.	DATE	ISSUE
0	JULY 14, 2023	ISSUED FOR TENDER

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PROJECT NAME:
 LIVING QUARTERS
 FIRE STATION NO. 1
 45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:
 FINISHES PLAN &
 SCHEDULE

CLIENT:

CITY OF SAINT JOHN
 15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

CONSULTANTS:

ARCHITECT: TOSS SOLUTIONS
 INTERIOR DESIGN: TOSS SOLUTIONS
 MECHANICAL ENGINEERING: FUNDY ENGINEERING
 ELECTRICAL ENGINEERING: FUNDY ENGINEERING
 STRUCTURAL ENGINEERING: FUNDY ENGINEERING
 CIVIL ENGINEERING: -
 ACUSTIC SPECIALIST: -
 LANDSCAPE ARCHITECT: -

DRAWING LIST:

INTERIOR DESIGN
 ID0.0 GENERAL LEGENDS & KEY PLAN
 ID1.0 DEMOLITION PLAN & FLOOR PLAN
 ID2.0 REFLECTED CEILING PLAN, DEMOLITION & NEW
 ID3.0 FINISHES PLAN & SCHEDULE
 ID4.0 INTERIOR ELEVATIONS
 ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE
 ID5.0 ENLARGED PLANS & DETAILS, WASHROOMS
 ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES
 ID7.0 INTERIOR SPECIFICATIONS

MECHANICAL
 M1.0 PLUMBING
 M2.0 VENTILATION
 M3.0 SPECIFICATIONS

ELECTRICAL
 E1.0 DEMOLITION AND NEW POWER & COMMUNICATION
 LAYOUT
 E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT
 E3.0 ELECTRICAL SPECIFICATIONS

SUBMISSIONS:

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	Drawn By: MC	Approved By: BB

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PROFESSIONAL SEAL:



PROJECT NAME:

LIVING QUARTERS
 FIRE STATION NO. 1

45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

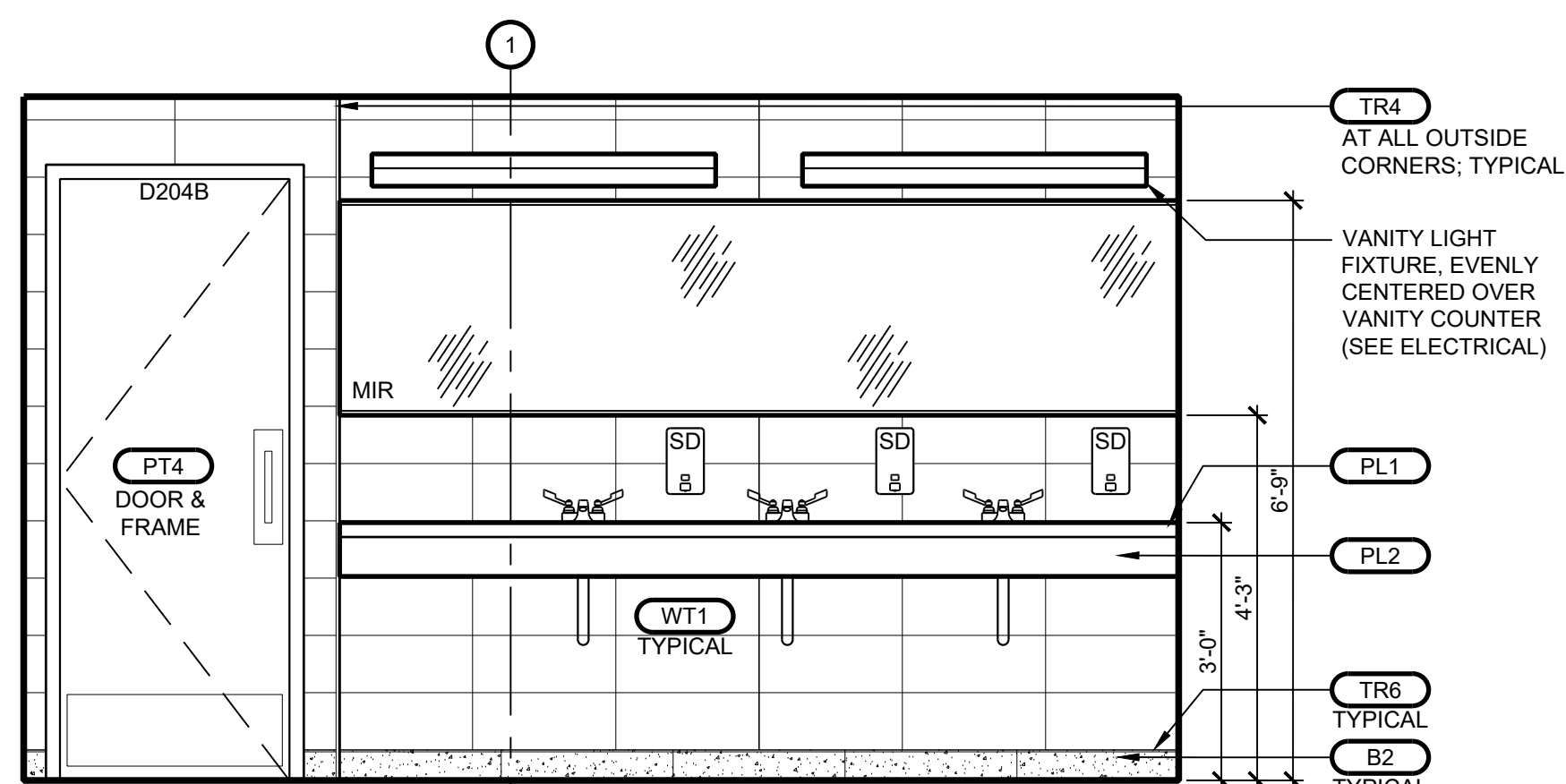
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INTERIOR ELEVATIONS

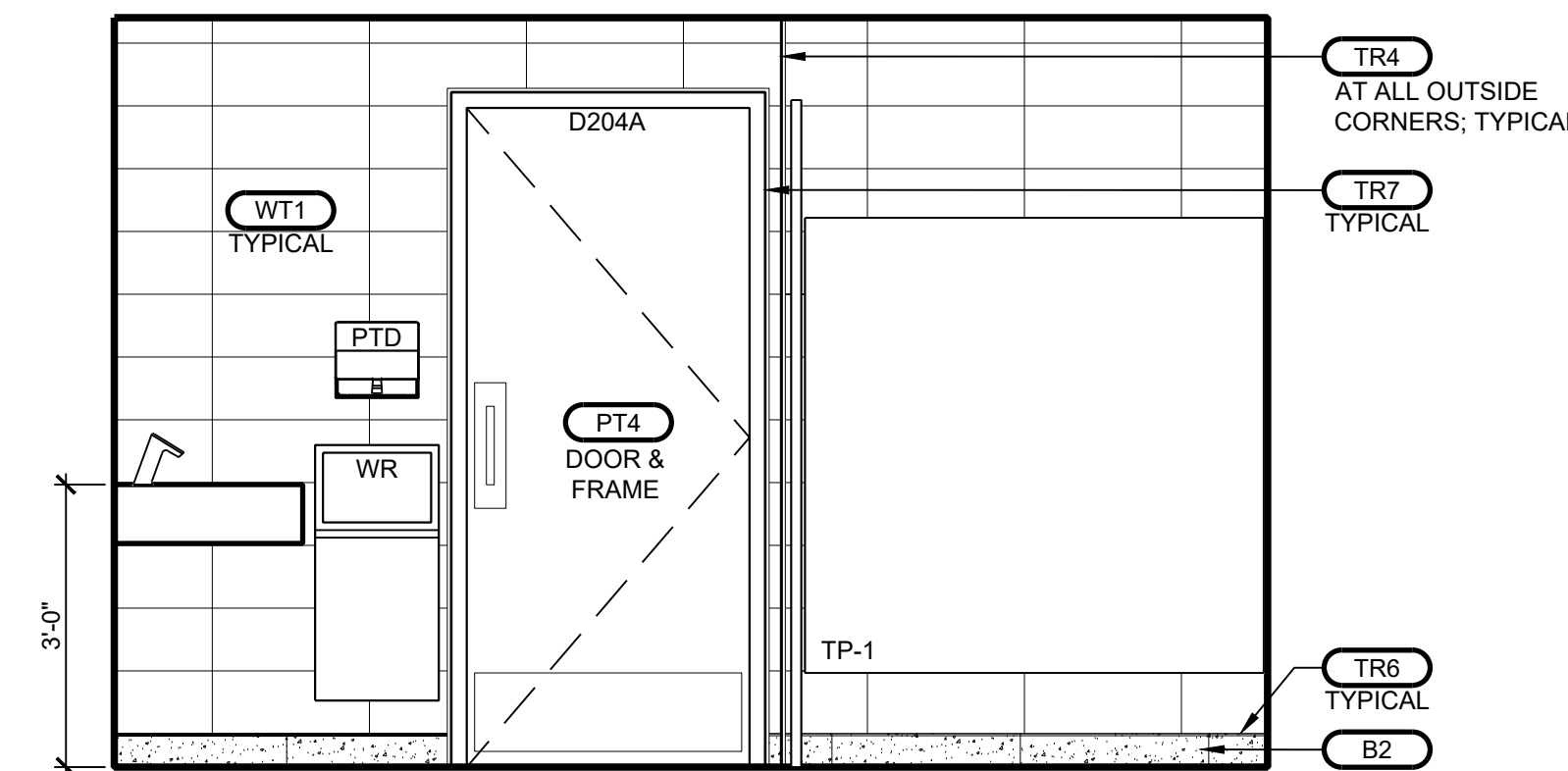
PROJECT NO: 22-09 (509) | DATE: JUNE 2023

DWG. SCALE: AS SHOWN | PLOT SCALE: 1:1

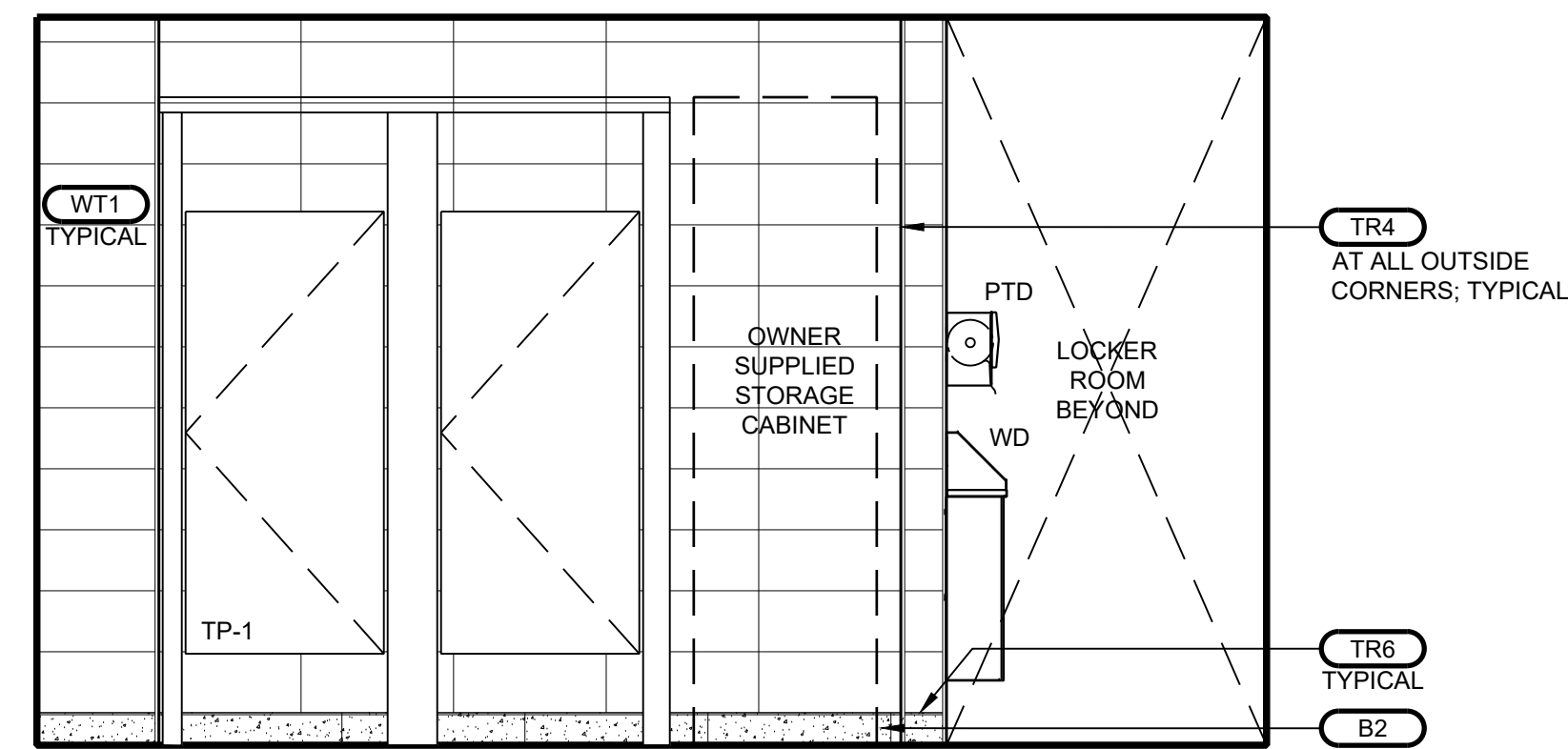
DWG. NO: ID4.0 | REV. NO: 0



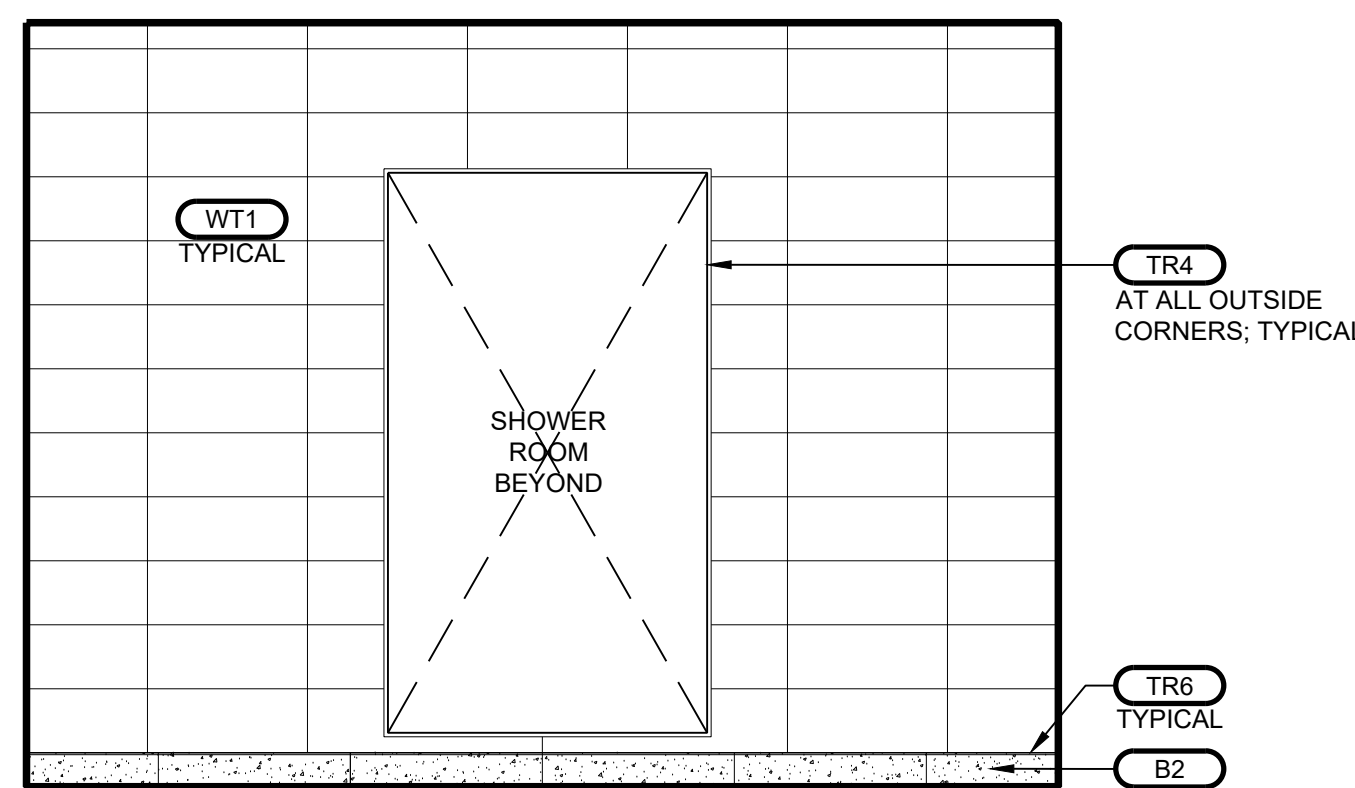
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 ID4.0 ELEVATION SCALE: 1/2 = 1'-0"



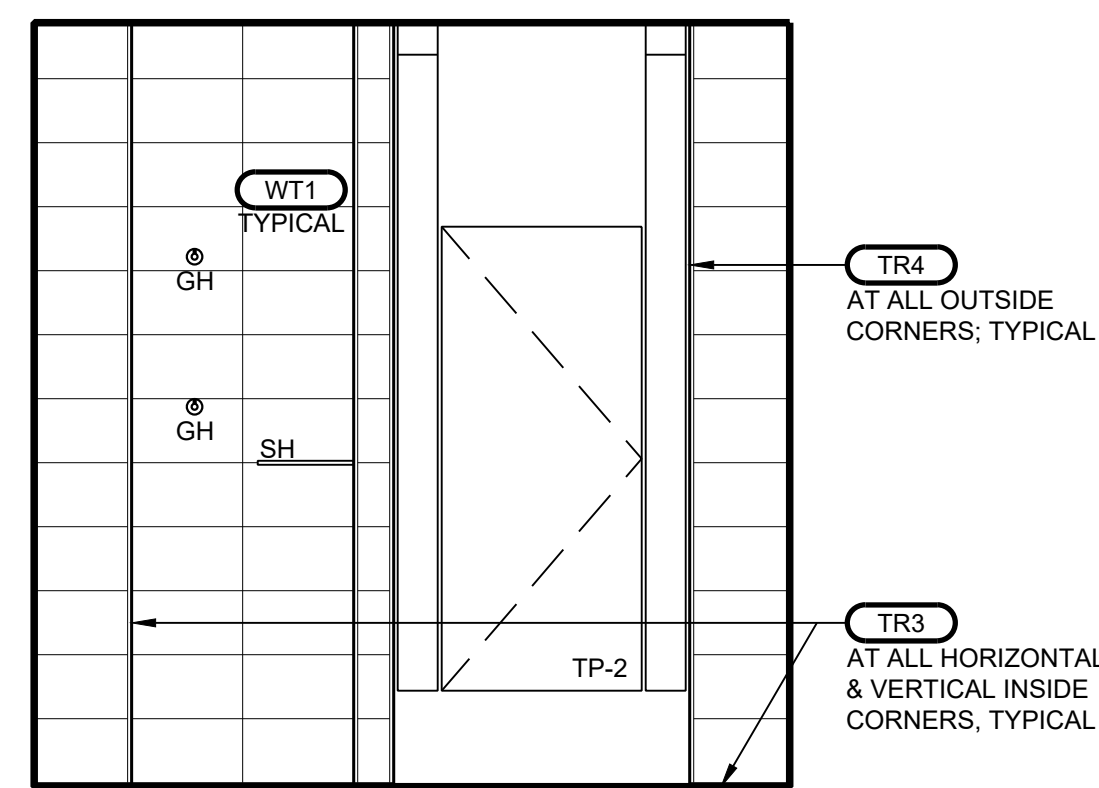
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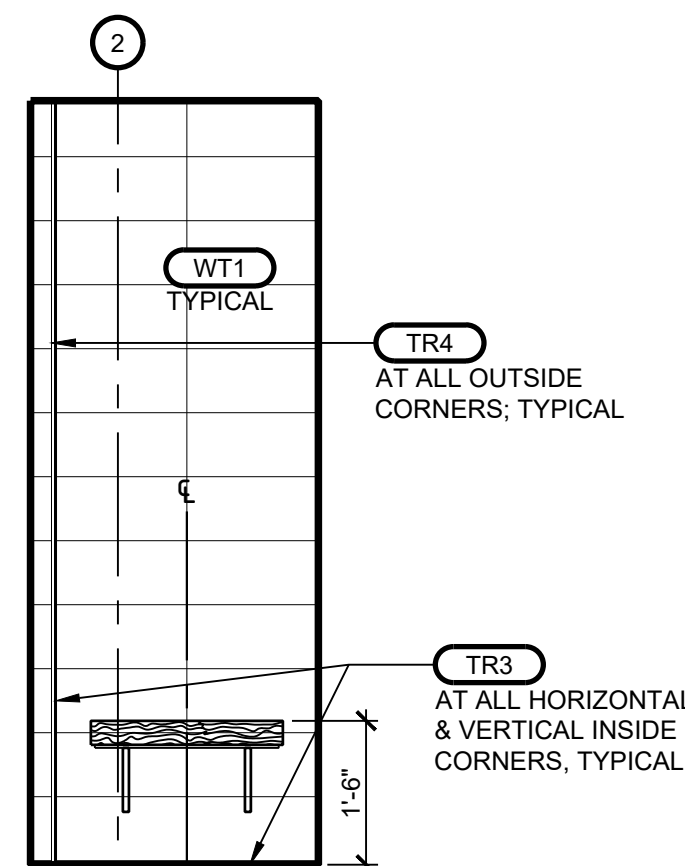
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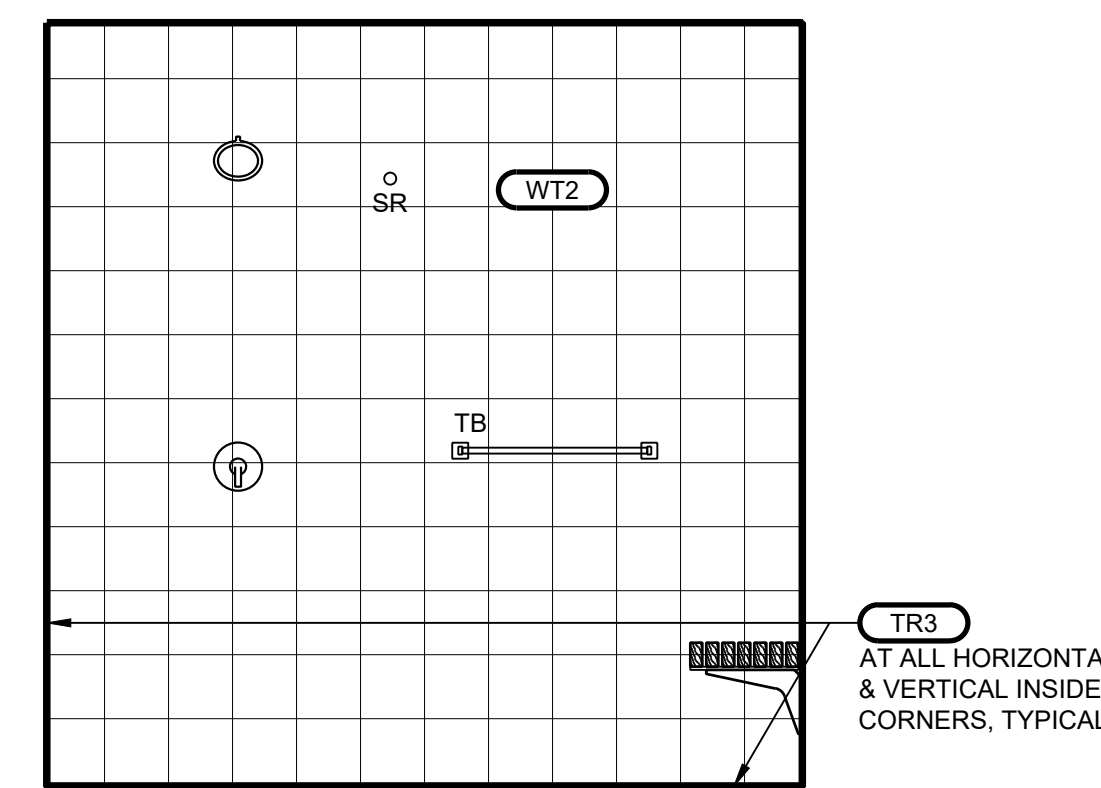
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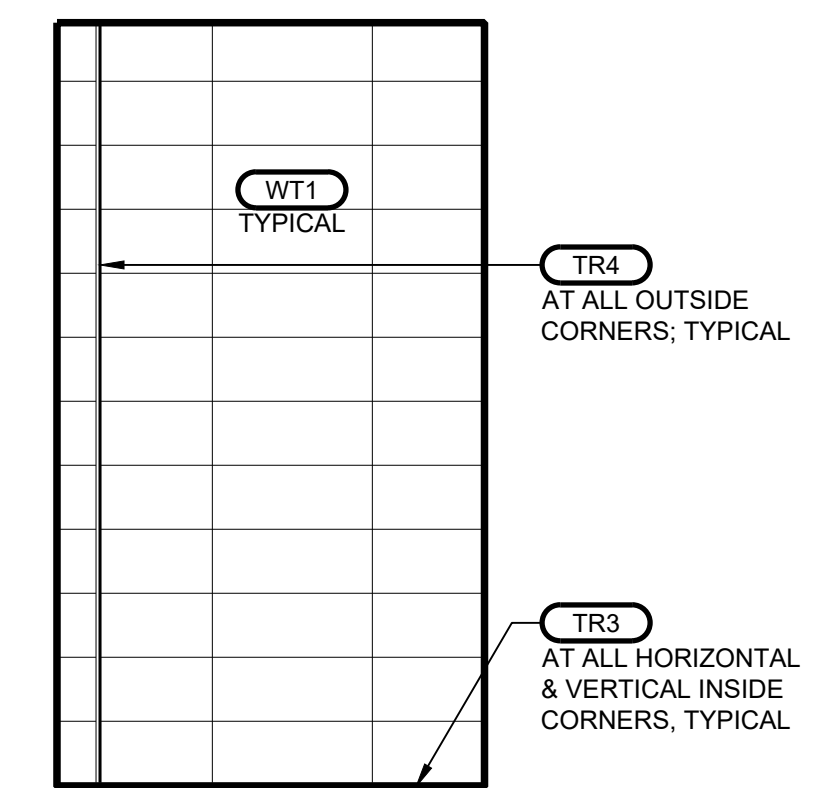
E SHOWER ROOM 204A
 ID4.0 ELEVATION SCALE: 1/2 = 1'-0"



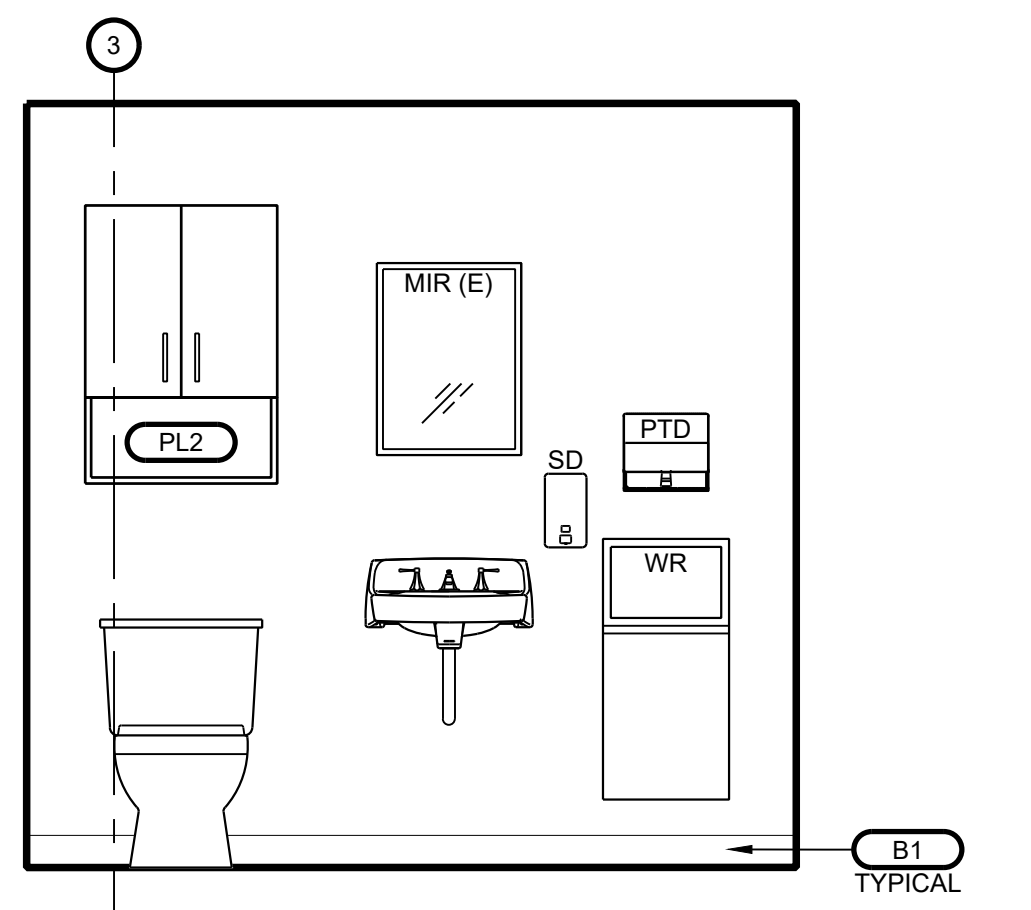
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 ID4.0 ELEVATION SCALE: 1/2 = 1'-0"



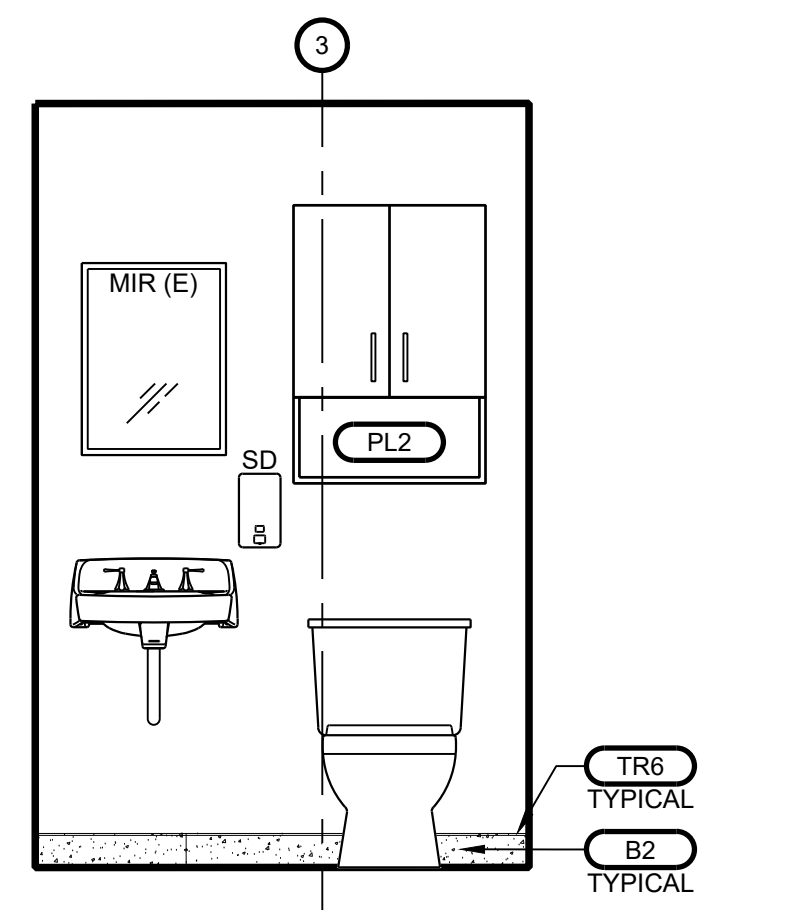
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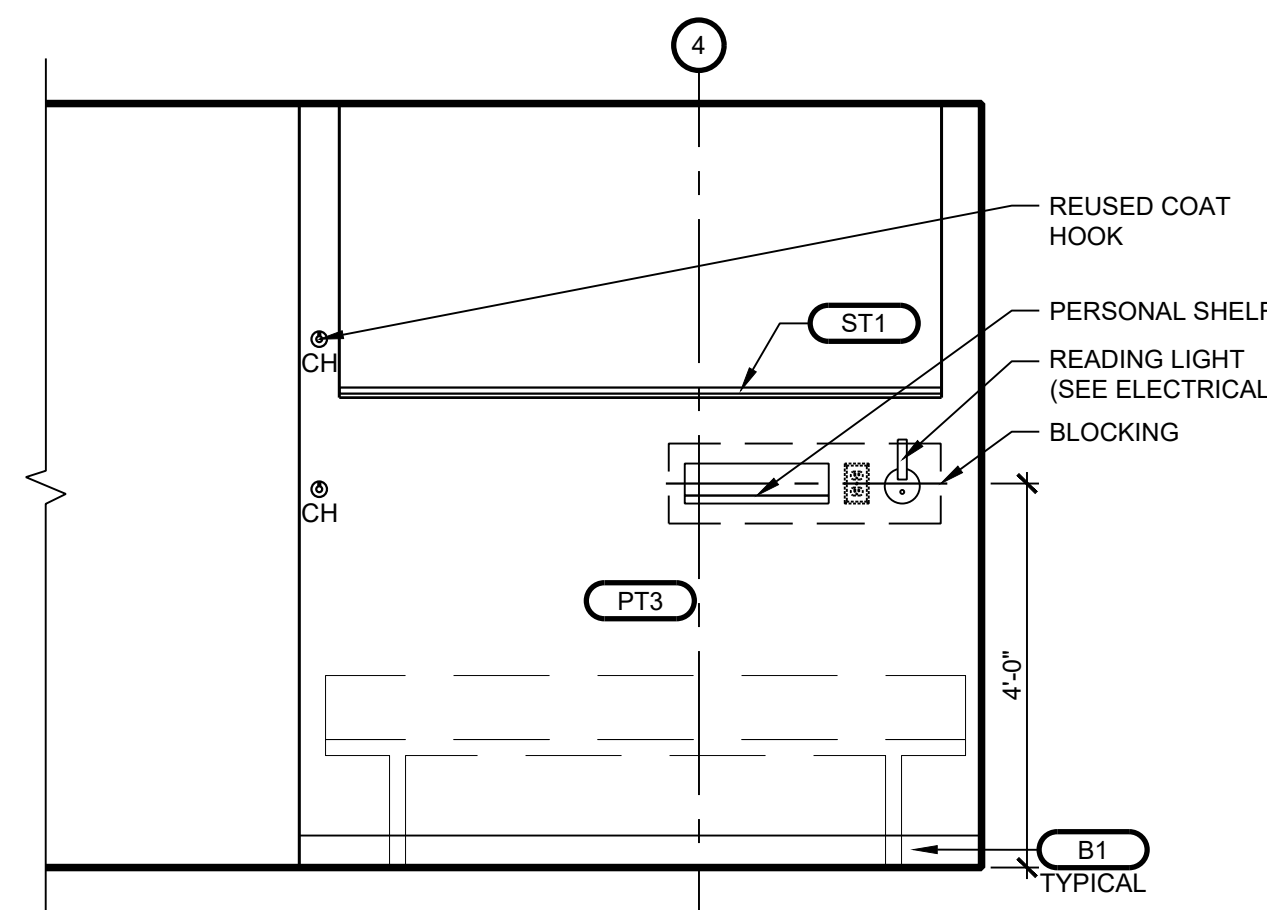
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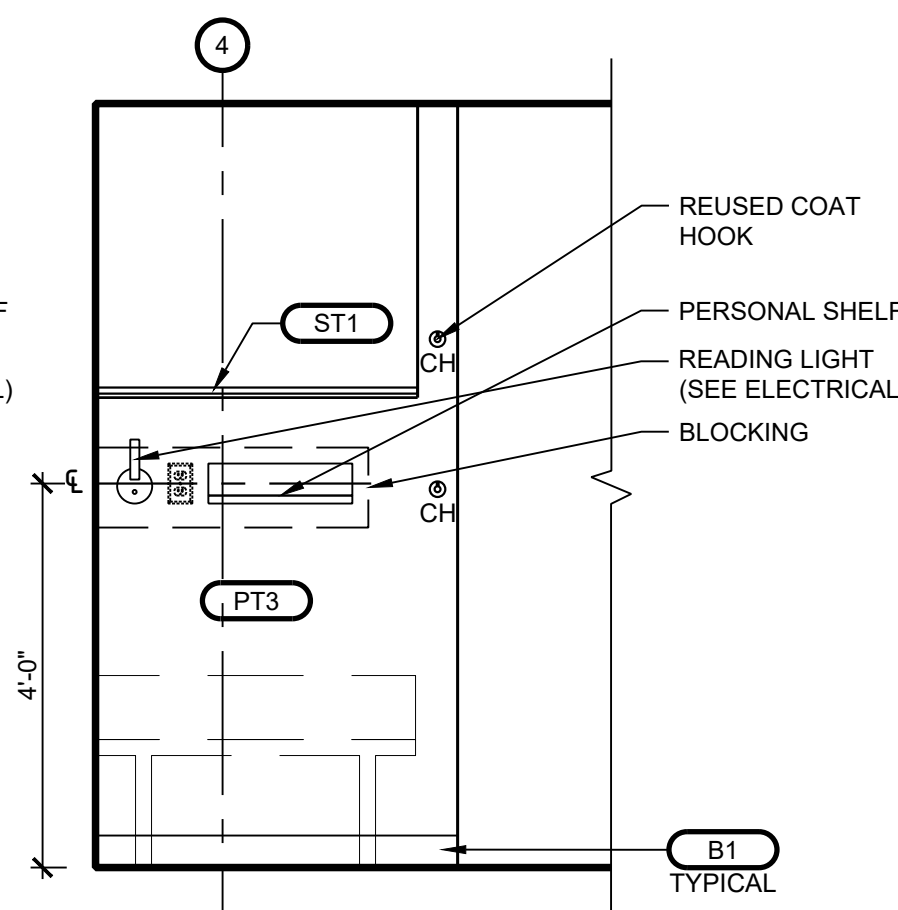
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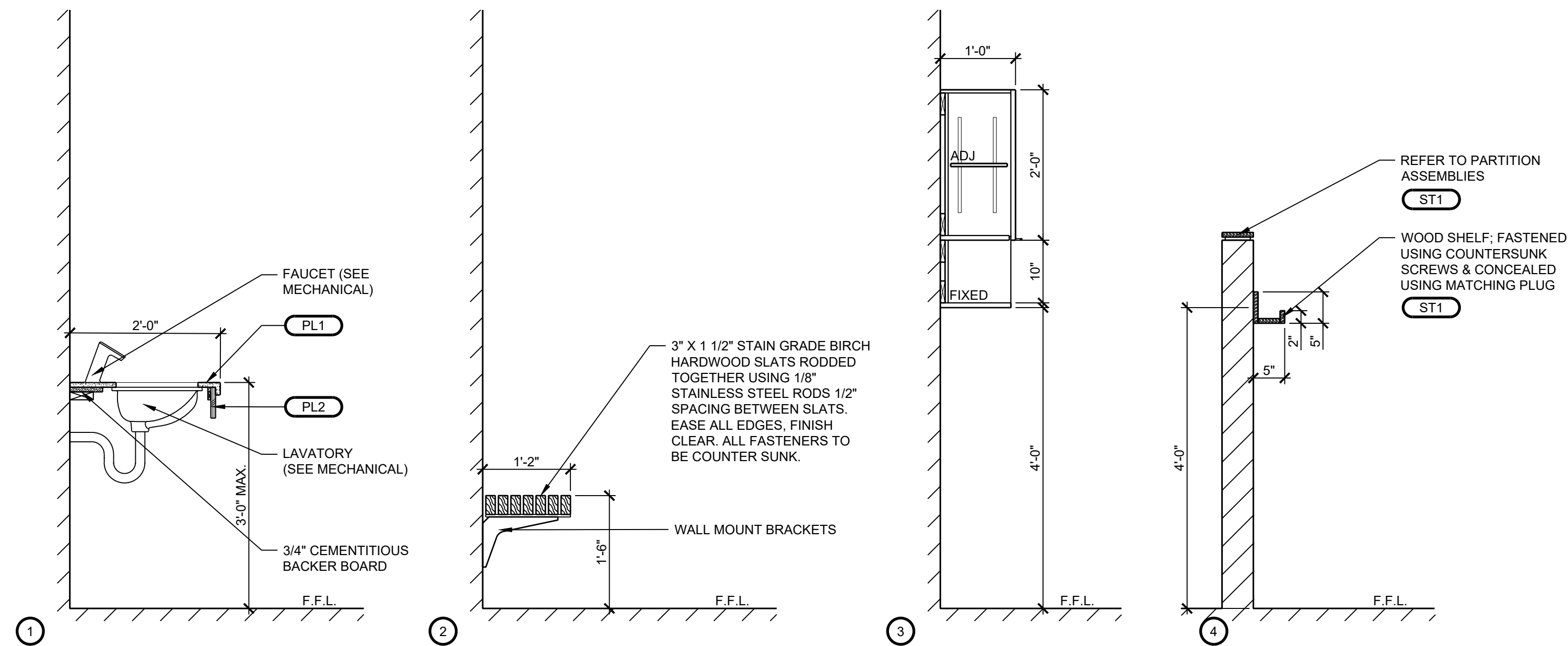
J WASHROOM 210
 ID4.0 ELEVATION SCALE: 1/2 = 1'-0"



K DORMITORY 203
 ID4.0 ELEVATION SCALE: 1/2 = 1'-0"



L DORMITORY 203
 ID4.0 ELEVATION SCALE: 1/2 = 1'-0"



A CASEWORK SECTIONS
 ID4.1 SCALE: 3/4" = 1'-0"

CASEWORK NOTES & HARDWARE LEGEND

GENERAL NOTES

1. GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING SITE DIMENSIONS AT PROPOSED CASEWORK LOCATIONS PRIOR TO SHOP DRAWING SUBMITTAL AND FABRICATION.
2. PROVIDE ADEQUATE WALL REINFORCEMENT WITHIN ASSEMBLIES TO SUPPORT HUNG CABINETS, COUNTERS AND SHELVES.
3. PROVIDE CONTINUOUS CLEAR CAULKING WHERE COUNTERTOP/BACKSPLASH MEETS WALL SURFACES.
4. PROVIDE FILLER STRIPS AS REQUIRED.

CONSTRUCTION

1. CASEWORK CONSTRUCTION IS AS FOLLOWS:
2. FURRING, BLOCKING, NAILING STRIPS, GROUNDS AND ROUGH BUCKS, SLEEPERS AND CONCEALED FRAMING TO BE SOFTWOOD LUMBER, PINE SPECIES.
3. CASEWORK BODIES, ENDS, DIVISIONS AND BOTTOMS, TO BE 3/4" PLYWOOD.
4. CASEWORK DOORS AND DRAWER FRONTS TO BE 3/4" SOLID WOOD OR 3/4" PLYWOOD WITH FLUSH HARDWOOD EDGES.
5. DRAWER BOXES TO BE CONSTRUCTED OF 3/4" HARDWOOD, SIDES, BACK AND BOTTOM.
6. CONCEALED CASEWORK FRAMING TO BE BIRCH OR MAPLE SPECIES.
7. PLASTIC LAMINATE COUNTERTOPS, WORKSURFACES AND NOSING ARE TO BE 3/4" PLYWOOD WITH PLASTIC LAMINATE ON ALL EXPOSED EDGES.
8. ALL METAL WORK IS TO HAVE CONTINUOUS WELDS, GROUND & POLISHED SMOOTH PRIOR TO APPLICATION OF PAINT FINISH.

HARDWARE

1. SUPPLY HARDWARE WITH FASTENERS, OTHER ITEMS AND PARTS REQUIRED FOR COMPLETE INSTALLATION AND FUNCTIONING.
2. ALL CASEWORK HARDWARE IS TO BE PROVIDED INCLUDING DRAWER SLIDES, HINGES, RECESSED SHELF STANDARDS, HANDLES, GROMMETS, ETC.
3. PROVIDE RUBBER BUMPERS AT ALL CORNERS OF DOOR AND DRAWERS.
4. KEYED LOCK: 987NP BY KNAPE AND VOGT CANADA INC. PROVIDE TWO CHANGE KEYS PER LOCK.
5. HINGES: SALLICE 200, 120 DEG. CONCEALED, STEEL FREE SWING HINGE.
6. MEDIUM DUTY DRAWER SLIDES: 3834E, ACCURIDE, 1" OVER TRAVEL, ZINC COATED STEEL (UP TO 16" W).
7. HEAVY DUTY DRAWER SLIDES: 4032, ACCURIDE, FULL EXTENSION, ZINC COATED STEEL (UP TO 27" W).
8. ALL CONCEALED CASEWORK PANEL SHELVING AND SUPPORT CLIPS: KNAPE & VOGT, 255 SERIES STEEL FLUSH MOUNTED PILASTER WITH 256 SERIES STEEL SHELF SUPPORTS.
9. ALL CASEWORK GLAZING IS TO BE 1/4" FROSTED LAMINATED GLASS PANELS, U.N.O..
10. FLOATING COUNTERTOP BRACKETS: CENTERLINEBRACKETS FLOATING WALL-MOUNT BRACKETS, CODE: FWM; GC TO ENSURE ADEQUATE BLOCKING WITHIN WALL & BRACKET SIZE IS ADEQUATE FOR APPLICATION LOAD.
11. PULL-OUT BASE CABINET WASTE/RECYCLING CENTERS TO BE RICHELIEU BOTTOM-MOUNTING PULL-OUT WASTE CONTAINER, SIZED TO FIT CABINET DIMENSIONS AS SHOWN ON ELEVATIONS.

CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION:	REMARKS / NOTES:
HW-1	DECORATIVE DOOR PULL	ROCHELEAU	POI-R1298-128-BSN MATERIAL: METAL, BRUSHED NICKEL	WASHROOM 208 & 210	SEE ELEVATIONS FOR ORIENTATION
HW-2	HEAVY-DUTY BRACKET	RICHELIEU, KOLOSSUS	9910081230 MATERIAL: STEEL, WHITE FINISH	SHOWER ROOM 204A	SEE ELEVATIONS FOR ORIENTATION

PLASTIC LAMINATE &/OR PANEL PRODUCT

CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION:	REMARKS / NOTES:
PL1	POSTFORMED PLASTIC LAMINATE, PLYWOOD CORE	PREMOULE	PROFILE: SQUARE P2 BAR TOP; CUT TO SIZE COLOUR: ARBORITE P1017-VL THICKNESS: 19mm	COUNTERTOP AT WASHROOM 204	
PL2	TFL PANEL	TAFISA	SERIES: SOMMET TEXTURE: VIVA COLOUR: CASTING AT FIRST LIGHT	VANITY APRON AT WASHROOM 204; WALL CABINET AT WASHROOMS 208 & 210	

WOOD & STAIN

CODE:	DESCRIPTION:	VENDOR/MFR:	STYLE/FINISH/COLOUR:	LOCATION: (WALL APPLICATION U.N.O.)	REMARKS / NOTES:
ST1	HARDWOOD THICKNESS: 3/4"	SOURCE BY G.C.	WHITE OAK, STAINED TO MATCH LVT1; CLEAR POLYURETHANE FINISH COAT	SHELF AT EACH BEDSIDE & WOOD TOP TRIM AT PARTITION ASSEMBLY TYPE P4 TO 60" A.F.F.	SAMPLE TO BE PROVIDED FOR DESIGNER APPROVAL, PRIOR TO FABRICATION
ST2	BIRCH HARDWOOD SIZE: 3" X 1 1/2"	SOURCE BY G.C.	CLEAR POLYURETHANE FINISH COAT	BENCHES AT SHOWER ROOM 204A	SAMPLES TO BE PROVIDED FOR DESIGNER APPROVAL, PRIOR TO FABRICATION

*** GENERAL CONTRACTOR TO PROVIDE OWNER &/OR PROPERTY WITH PAINT SUPPLIER & FORMULAS FOR FUTURE & ON-GOING TOUCH UPS ***
 *** (1) COAT PRIMER & (2) COATS PAINT ARE REQUIRED (MINIMUM) ***

TOSS

STRATEGIC PLANNING & DESIGN
 INTERIOR DESIGN : COMMERCIAL
 LIVING : WORKPLACE STRATEGY
 BUILDINGS : PROJECT MANAGEMENT

CLIENT:

CITY OF SAINT JOHN
 15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

CONSULTANTS:

ARCHITECT: TOSS SOLUTIONS
 INTERIOR DESIGN: TOSS SOLUTIONS
 MECHANICAL ENGINEERING: FUNDY ENGINEERING
 ELECTRICAL ENGINEERING: FUNDY ENGINEERING
 STRUCTURAL ENGINEERING: -
 CIVIL ENGINEERING: -
 ACUSTIC SPECIALIST: -
 LANDSCAPE ARCHITECT: -

DRAWING LIST:

INTERIOR DESIGN
 ID0.0 GENERAL LEGENDS & KEY PLAN
 ID1.0 DEMOLITION PLAN & FLOOR PLAN
 ID2.0 REFLECTED CEILING PLAN, DEMOLITION & NEW FINISHES PLAN & SCHEDULE
 ID3.0 FINISHES PLAN & SCHEDULE
 ID4.0 INTERIOR ELEVATIONS
 ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE
 ID5.0 ENLARGED PLANS & DETAILS, WASHROOMS
 ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES
 ID7.0 INTERIOR SPECIFICATIONS

MECHANICAL

M1.0 PLUMBING
 M2.0 VENTILATION
 M3.0 SPECIFICATIONS

ELECTRICAL

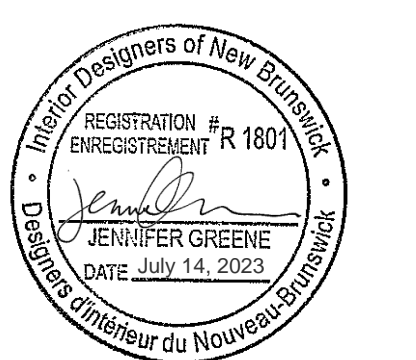
E1.0 DEMOLITION AND NEW POWER & COMMUNICATION LAYOUT
 E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT
 E3.0 ELECTRICAL SPECIFICATIONS

SUBMISSIONS:

REV.	DATE	ISSUE
		Drawn By: Approved By:
		Drawn By: Approved By:
		Drawn By: Approved By:
		Drawn By: Approved By:
		Drawn By: Approved By:
0	JULY 14, 2023	ISSUED FOR TENDER Drawn By: MC Approved By: BB

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PROFESSIONAL SEAL:



PROJECT NAME:

**LIVING QUARTERS
 FIRE STATION NO. 1**

45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

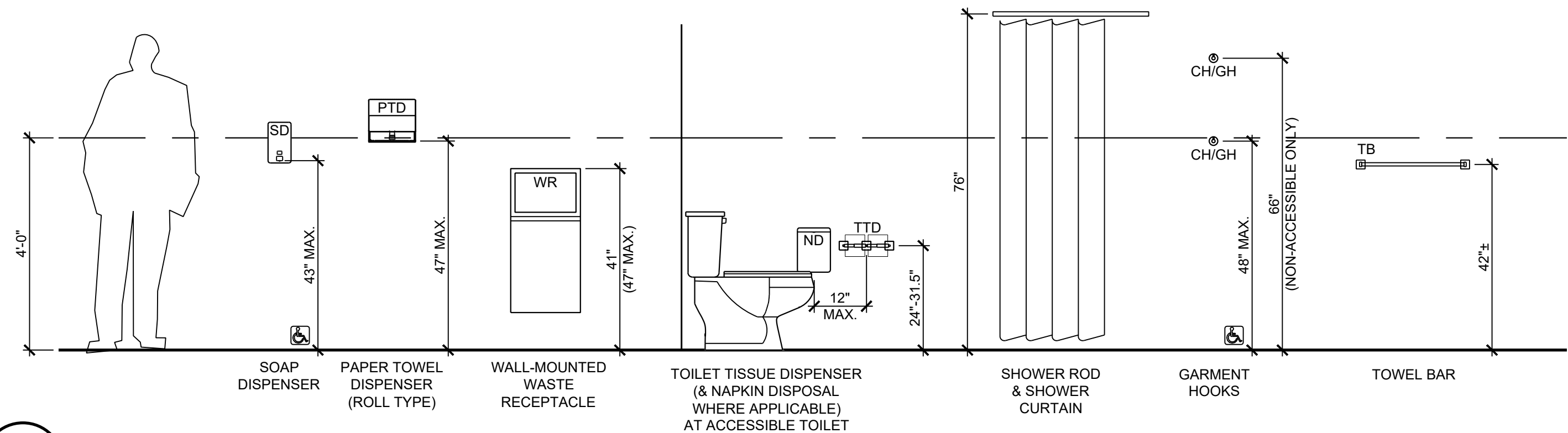
DRAWING TITLE:

**CASEWORK SECTIONS,
 NOTES & HARDWARE**

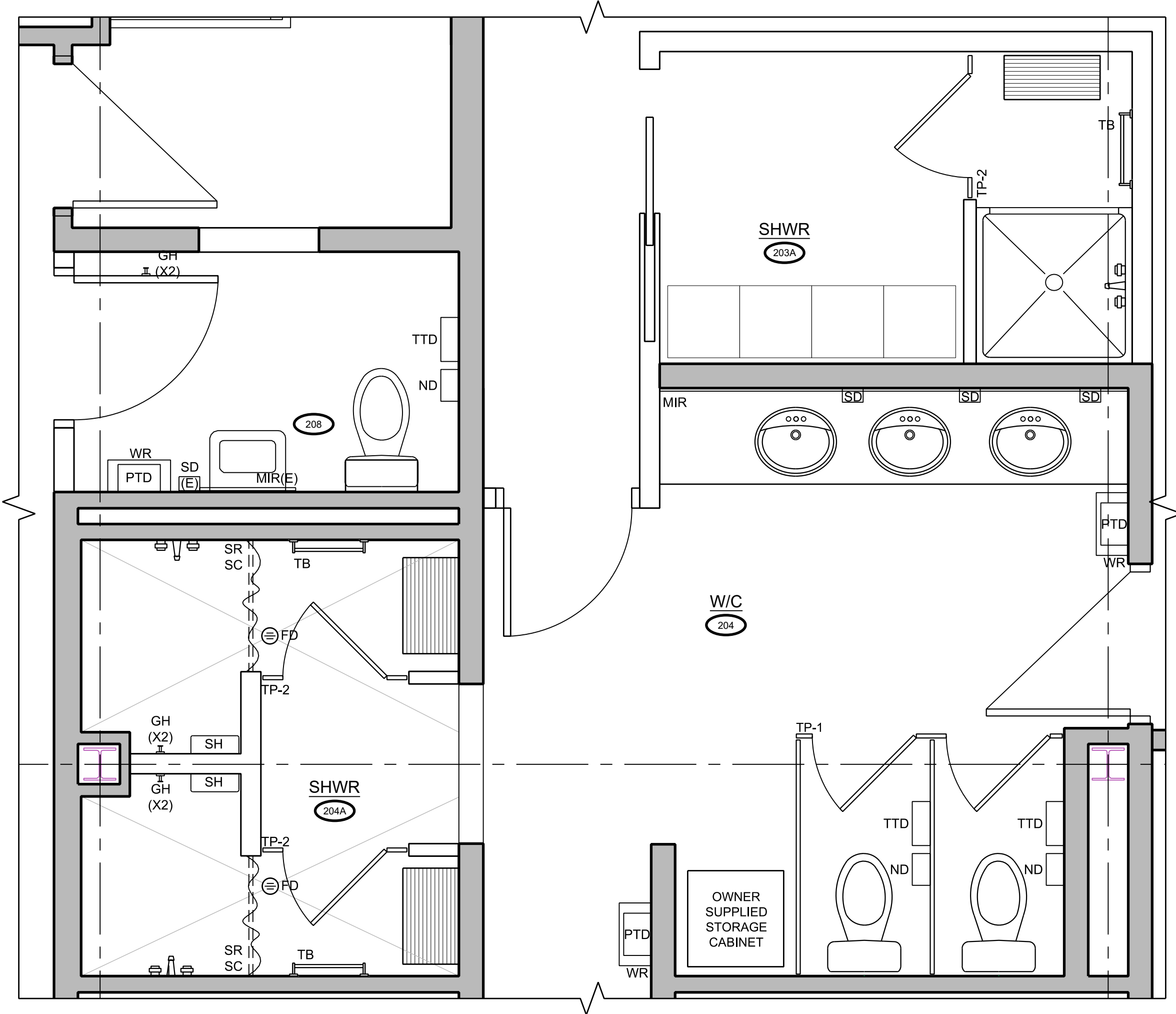
PROJECT NO: 22-09 (509) | DATE: JUNE 2023

DWG. SCALE: AS SHOWN | PLOT SCALE: 1 : 1

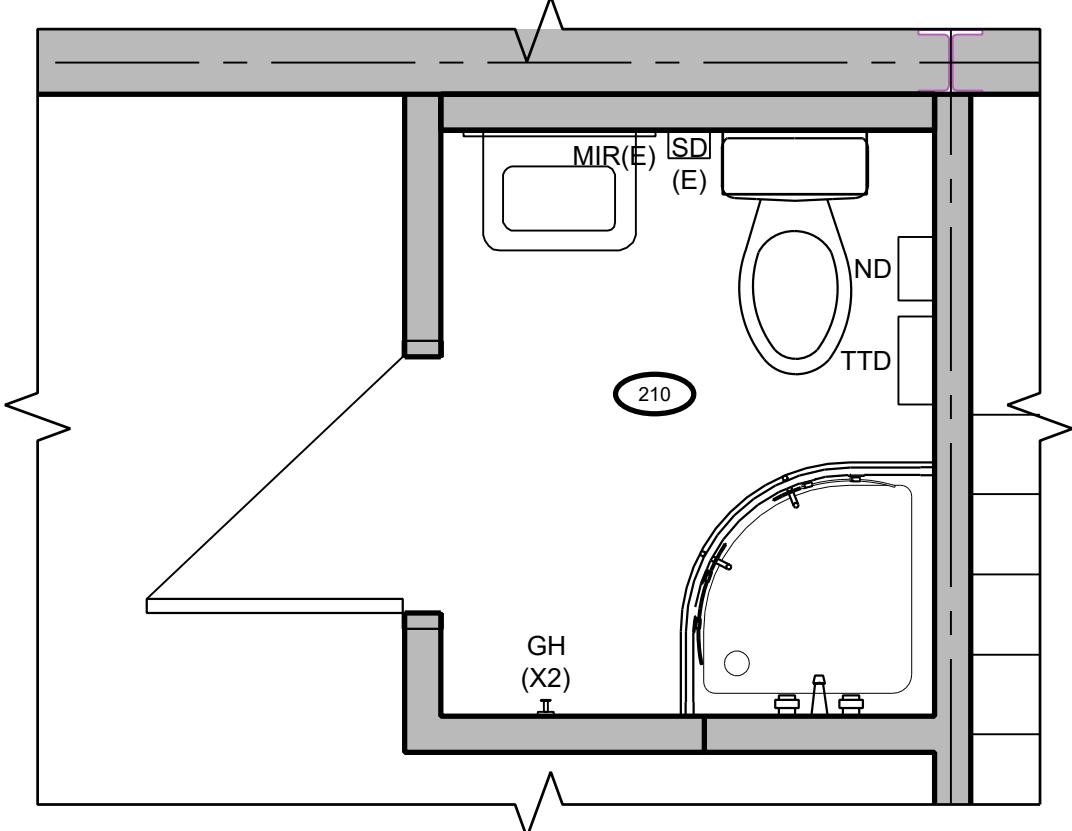
DWG. NO: ID4.1 | REV. NO: 0



A WASHROOM ACCESSORIES MOUNTING HEIGHT
 ID5.0 SCALE: 1/2" = 1'-0"



B ENLARGED FLOOR PLAN
 ID5.0 SCALE: 1/2" = 1'-0"



C ENLARGED FLOOR PLAN
 ID5.0 SCALE: 1/2" = 1'-0"

WASHROOM ACCESSORIES NOTES & SCHEDULE

GENERAL NOTES:
 1. PROVIDE 12" CLEAR AREA ABOVE GRAB BARS (TYPICAL)
 2. PROVIDE 1.5"-1.75" CLEAR AREA BETWEEN GRAB BARS AND ADJACENT ACCESSORIES AND OTHER GRAB BARS
 3. PROVIDE BLOCKING TO SUPPORT MIN. 1.3kN. OF FORCE IN ANY DIRECTION
 4. ALL EQUIPMENT CONTROLS OR PRODUCT DISPENSER LOCATIONS MUST BE WITHIN ACCESSIBLE REACH RANGE (16" MIN. TO 48" MAX.)
 5. CONTRACTOR TO SITE VERIFY LENGTH AND WIDTH OF BARRIER FREE WASHROOM BEFORE INSTALLATION OF FIXTURES AND ACCESSORIES.
 6. FINAL MOUNTING HEIGHTS ARE TO BE COORDINATED WITH DESIGNER PRIOR TO INSTALLATION.
 7. GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE SUPPORT WITHIN THE PARTITIONS TO CARRY FIXTURE WEIGHTS.

CODE	DESCRIPTION	VENDOR/MANUFACTURER	STYLE/FINISH/COLOUR	LOCATION	REMARKS/NOTES
MIR	MIRROR, COMPLETE WITH J-SHAPE FINISHING MOLDING	CONTRACTOR TO SOURCE	FRAMELESS MIRROR WITH POLISHED EDGES; LOW IRON/ULTRA CLEAR TYPE RICHELIEU: 010041170 & 010033170, STAINLESS STEEL FINISH	WASHROOM 204	REFER TO INTERIOR ELEVATIONS
MIR (E)	MIRROR	EXISTING TO BE REUSED		WASHROOMS: 208 & 210	
SD	SOAP DISPENSER, SURFACE MOUNTED			WASHROOMS: 204, 208 & 210	PROVIDED BY CITY OF SAINT JOHN, INSTALLED BY G.C.
PTD	UNIVERSAL PAPER TOWEL DISPENSER, SURFACE MOUNTED	FROST	MODEL: 101 SIZE: 10"H x 11"W x 7"D FINISH: WHITE EPOXY	WASHROOMS: 204, 208, 210	PROVIDED BY CITY OF SAINT JOHN, INSTALLED BY G.C.
WR	WASTE RECEPTACLE; SURFACE MOUNTED	FROST	MODEL: 303 SIZE: 32"H x 15"W x 8"D FINISH: WHITE EPOXY	WASHROOMS: 204, 208, 210	PROVIDED BY CITY OF SAINT JOHN, INSTALLED BY G.C.
ND	SANITARY NAPKIN DISPOSAL, SURFACE MOUNTED	FROST	MODEL: 620 SIZE: 13"H x 8"W x 4 1/2"D FINISH: WHITE EPOXY	WASHROOMS: 204, 208, 210	PROVIDED BY CITY OF SAINT JOHN, INSTALLED BY G.C.
TTD	TOILET TISSUE DISPENSER DOUBLE ROLL	FROST	MODEL: 159 SIZE: 2 3/4"H x 11"W x 4 1/2"D FINISH: STAINLESS STEEL, POLISHED CHROME	WASHROOMS: 204, 208, 210	PROVIDED BY CITY OF SAINT JOHN, INSTALLED BY G.C.
CH	COAT HOOK	EXISTING TO BE REUSED		DORMITORY 203	REFER TO INTERIOR ELEVATIONS
GH	GARMENT HOOK	BOBRICK	MODEL: B-6707 SIZE: 2"H x 2"W x 2"D FINISH: STAINLESS STEEL, SATIN	WASHROOMS: 208 & 210 SHOWER: 204A	INCLUDE GARMENT HOOK AT EACH INDICATED HEIGHT.
TB	TOWEL BAR	BOBRICK	MODEL: B-6747 SIZE: 2"H x 18"W x 3"D FINISH: STAINLESS STEEL, SATIN	SHOWERS: 203A & 204A	
SH	SHOWER SHELF	SCHLUTER	BRUSHED STAINLESS STEEL FINISH, PATTERN DESIGN: WAVE	SHOWER 204A	SEE INTERIOR ELEVATIONS
TP-1	TOILET PARTITION DURALINE PHENOLIC TOILET PARTITION	BOBRICK	SERIES: 1082 OVERHEAD BRACED SIZE: TBD ON SITE FINISH: SILVRETTA 0229-FH	WASHROOM 204	
TP-2	TOILET PARTITION DURALINE PHENOLIC TOILET PARTITION	BOBRICK	SERIES: 1088 CEILING HUNG SIZE: TBD ON SITE FINISH: SILVRETTA 0229-FH	SHOWER 204A	
SR	STRAIGHT SHOWER CURTAIN ROD THICKNESS: 20 GAUGE, TYPE 304 SIZE: 1" DIAMETER X 36" LENGTH, CUT TO SIZE	BOBRICK	B-6107-36 STAINLESS STEEL, SATIN FINISH	SHOWERS: 203A & 204A	
SC	SHOWER CURTAIN SIZE: 70"W x 72" H MATERIAL: VINYL, 0.2mm	BOBRICK	204-3 OPAQUE, MATTE WHITE COMPLETE WITH SHOWER CURTAIN HOOK 204-1	SHOWERS: 203A & 204A	

*** SEE MOUNTING HEIGHT LEGENDS & ENLARGED PLANS FOR LOCATION & QUANTITIES. ***

CLIENT:
 CITY OF SAINT JOHN
 15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

CONSULTANTS:
 ARCHITECT: TOSS SOLUTIONS
 INTERIOR DESIGN: TOSS SOLUTIONS
 MECHANICAL ENGINEERING: FUNDY ENGINEERING
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 STRUCTURAL ENGINEERING: FUNDY ENGINEERING
 CIVIL ENGINEERING: -
 ACOUSTIC SPECIALIST: -
 LANDSCAPE ARCHITECT: -

- DRAWING LIST:**
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SUBMISSIONS:

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PROFESSIONAL SEAL:

 REGISTRATION # R 1801
 ENREGISTREMENT
 JENNIFER GREENE
 DATE July 14, 2023
 Ordre des Ingénieurs du Nouveau Brunswick

PROJECT NAME:
 LIVING QUARTERS
 FIRE STATION NO. 1
 45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:
 ENLARGED PLANS & DETAILS: WASHROOMS

PROJECT NO: 22-09 (509) | **DATE:** JUNE 2023
DWG. SCALE: AS SHOWN | **PLOT SCALE:** 1 : 1

DWG. NO: ID5.0 | **REV. NO:** 0

DOOR & FRAME NOTES

NOTES

- SEE DOOR SCHEDULE FOR DOOR SIZES, FINISHES, MATERIALS AND RATINGS.
- REFER TO HARDWARE SCHEDULE FOR DOOR HARDWARE.
- ALL DOOR AND SIDELIGHT GASKETING IS TO BE RUBBER, **NOT PUTTY**.
- NEW DOORS ARE TO BE FACTORY PREPPED FOR SPECIFIED HARDWARE.
- ALL DOORS ARE TO BE UNDERCUT 3/4" UNLESS NOTED OTHERWISE.
- HOLLOW METAL FRAMES TO BE REINFORCED, DRILLED AND TAPPED FOR RECESSED MOUNTED HARDWARE AND MORTISE HARDWARE, AS REQUIRED.
- ALL HOLLOW METAL FRAMES TO BE OF WELDED CONSTRUCTION & SUPPLIED WITH DOOR SILENCERS.
- PROVIDE (3) HINGES ON DOORS LESS THAN 7'-6" IN HEIGHT & (1) ADDITIONAL FOR EACH ADDITIONAL 2'-6" OR FRACTION THEREOF.

GLAZING MATERIAL

- GL. EXTERIOR INSULATED GLAZING PANEL**
 - 1/4" / 6mm CLEAR GLAZING
 - 1/2" / 13mm AIR SPACE (ARGON-FILLED)
 - 1/4" / 6mm CLEAR GLAZING (LOW-E)
- I.P. INSULATED ALUMINUM PANEL**
 - ANODIZED ALUMINUM EXTERIOR PANEL
- F.G. FLOAT GLASS**
 - 1/4" / 6mm SINGLE FLOAT GLAZING
- W.G. WIRE GLASS**
 - 1/4" / 6mm SINGLE WIRED GLAZING

- T.G. TEMPERED GLASS**
 - 3/8" / 10mm SINGLE TEMPERED GLAZING
- S.G. SAFETY GLASS**
 - 3/8" / 10mm SINGLE LAMINATED GLAZING

DOOR AND FRAME MATERIALS

- H.M.D. HOLLOW METAL DOOR**
 - 18GA / 1.2mm SHEET METAL CLADDING
- H.M.F. HOLLOW METAL FRAME**
 - 16GA / 1.5mm SHEET METAL PROFILE
- WD. SOLID CORE WOOD DOOR / HARDWOOD FRAME**
 - STAIN GRADE (ST)
 - PAINT GRADE (PT)

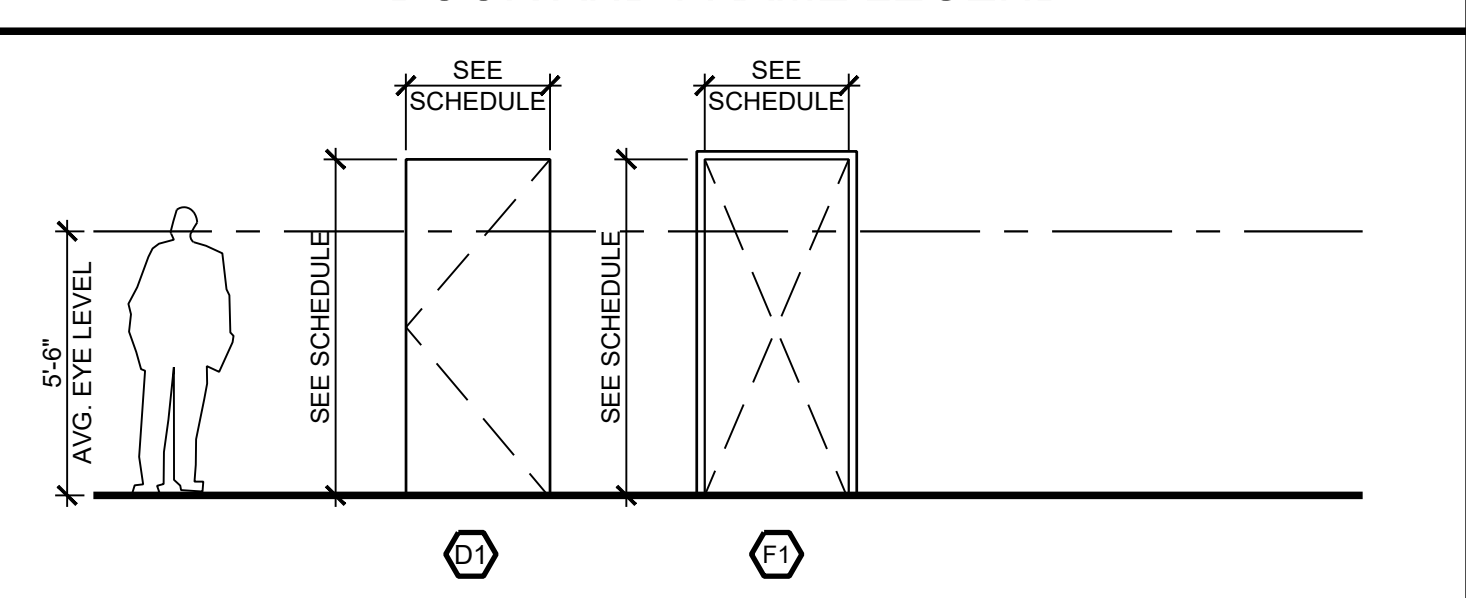
DOOR & FRAME SCHEDULE

DOOR NUM.	DOOR							FRAME			HDWR SET NO.	NOTES	
	TYPE	HEIGHT (INCHES)	WIDTH (INCHES)	THICKNESS (INCHES)	MATERIAL	FINISH	FIRE RATING	TYPE	MATERIAL	FINISH			
D203A	D1	84	32	1 3/4	WD	PT		-		PT	1		
D204A	EXISTING							PT	EXISTING		PT	4	
D204B	D1	84	32	1 3/4	WD	PT	45mins	F1	H.M.F.	PT	2		
D205A	EXISTING							PT	EXISTING		PT	4	
D205B	EXISTING							PT	EXISTING		PT	4	
D208A	D1	84	36	1 3/4	WD	PT		F1	H.M.F.	PT	3		
D220A	EXISTING							PT	EXISTING		PT	-	
D220B	EXISTING							-	EXISTING		PT	-	
D221AA	EXISTING							PT	EXISTING		PT	-	

NOTES:

- GENERAL NOTE:
 - REFER TO FINISH SCHEDULE FOR PAINT COLOUR & FINISH.

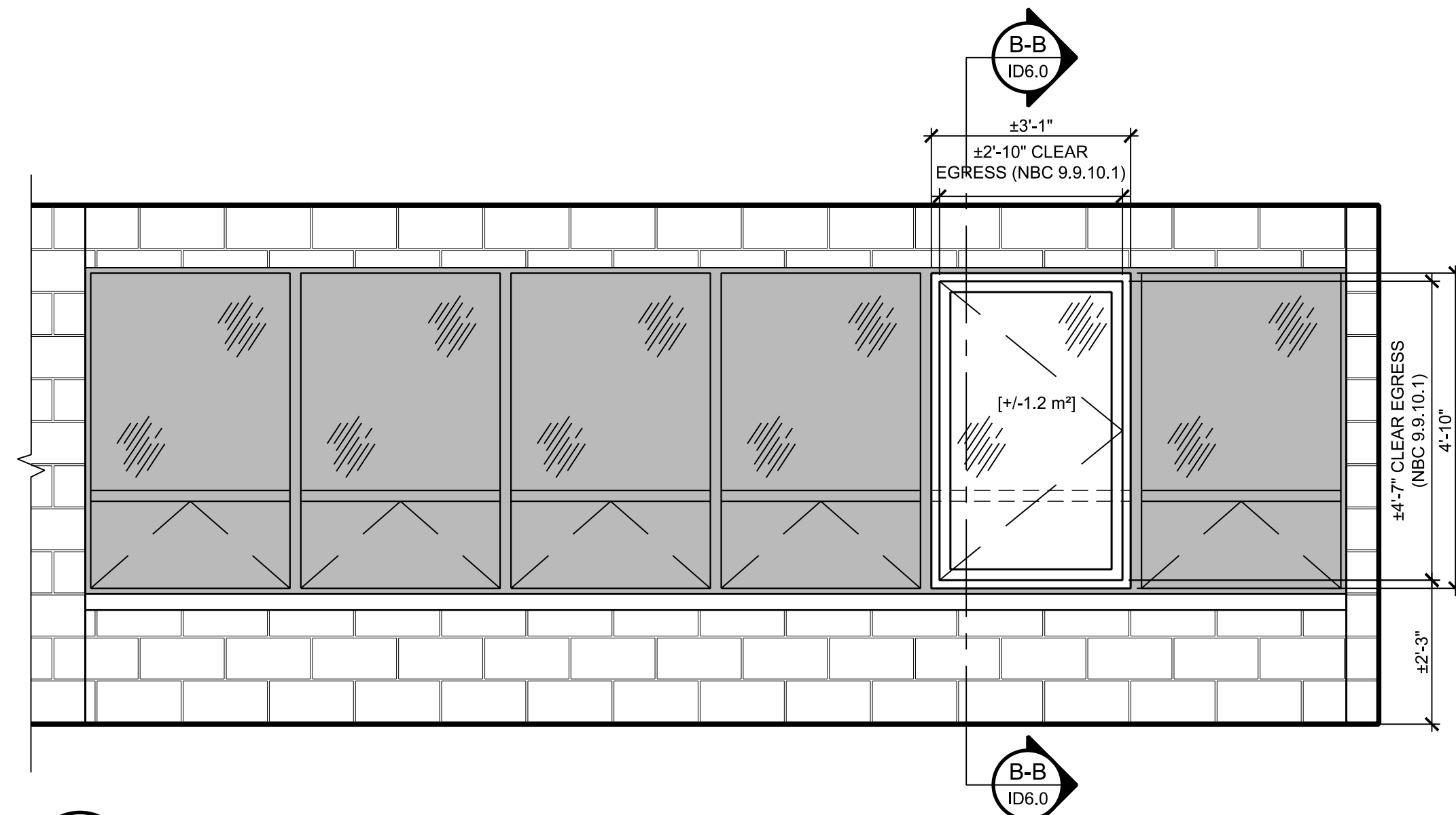
DOOR AND FRAME LEGEND



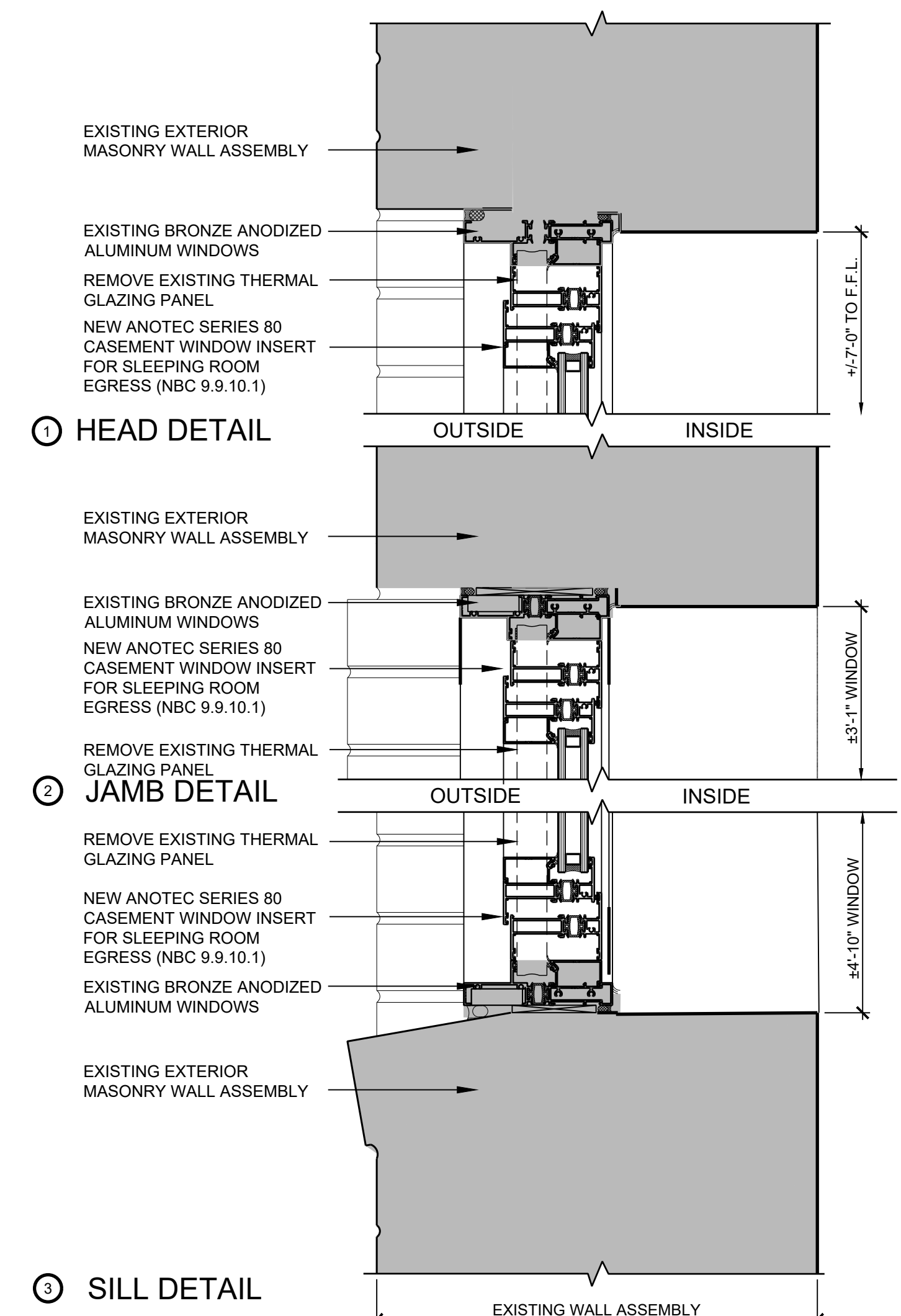
HARDWARE SCHEDULE

NO.	QTY.	ITEM	MAN'FR.	PRODUCT NO.	FINISH	NOTES
1	1	POCKET DOOR TRACK KIT	KN CROWDER	TYPE C-W-2X4		
1	1	POCKET DOOR PULL (PRIVACY)	KN CROWDER	C-90L-OT, CONCEALED	US26D	
2	3	HINGE	MCKINNEY	T4A3786 (4 1/2" x 4 1/2")	26D	
1	1	PUSH PLATE	IVES	8200 (4 X 16)	US26D	
1	1	PUSH PLATE/HANDLE	IVES	8305 (4 X 16)	US26D	
2	2	KICKPLATE	IVES	8400 (10 X 25)	US26D	
1	1	CLOSER	SARGENT	EN1431	EN	
3	3	HINGE	MCKINNEY	T4A3786 (4 1/2" x 4 1/2")	26D	
1	1	LOCKSET (PRIVACY)	SARGENT	65U65-KL	26D	
1	1	KICKPLATE	IVES	8400 (10 X 34)	US26D	
1	1	FLOOR STOP	STD METAL	S102L	26D	
1	1	CLOSER	SARGENT	EN1431	EN	
4	2	KICKPLATE	IVES	8400 (10 X 34)	US26D	
1	1	CLOSER	SARGENT	EN1431	EN	

NOTES:



A WINDOW AT DORMITORY 203
 ID6.0 ELEVATION SCALE: 1/2" = 1'-0"



B-B WINDOW INSERT SECTION
 ID6.0 SCALE: 4" = 1'-0"

CLIENT:
 CITY OF SAINT JOHN
 15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

CONSULTANTS:
 ARCHITECT: TOSS SOLUTIONS
 INTERIOR DESIGN: TOSS SOLUTIONS
 MECHANICAL ENGINEERING: FUNDY ENGINEERING
 ELECTRICAL ENGINEERING: FUNDY ENGINEERING
 STRUCTURAL ENGINEERING: FUNDY ENGINEERING
 CIVIL ENGINEERING: -
 ACUSTIC SPECIALIST: -
 LANDSCAPE ARCHITECT: -

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 M2.0 VENTILATION
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ELECTRICAL
 E1.0 DEMOLITION AND NEW POWER & COMMUNICATION
 LAYOUT
 E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT
 E3.0 ELECTRICAL SPECIFICATIONS

SUBMISSIONS:

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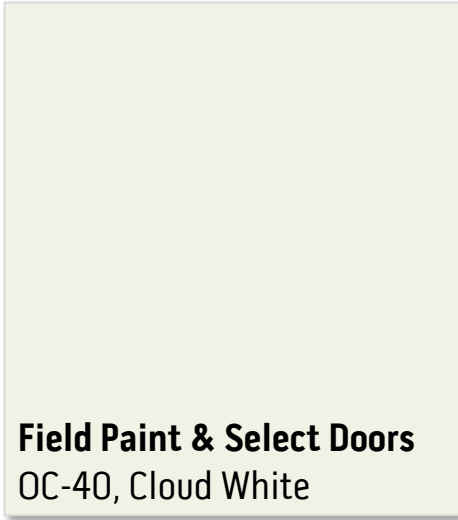
PROFESSIONAL SEAL:

PROJECT NAME:
 LIVING QUARTERS
 FIRE STATION NO. 1
 45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:
 DOOR, FRAME, &
 HARDWARE DETAILS &
 SCHEDULES

PROJECT NO: 22-09 (509) **DATE:** JUNE 2023
DWG. SCALE: AS SHOWN **PLOT SCALE:** 1 : 1
DWG. NO: ID6.0 **REV. NO:** 0

PAINTS



Field Paint & Select Doors
OC-40, Cloud White



Accent Paint & Select Doors
AF-690, Metropolitan



Accent Paint
CW-590 Williamsburg Wythe Blue

DORMITORY



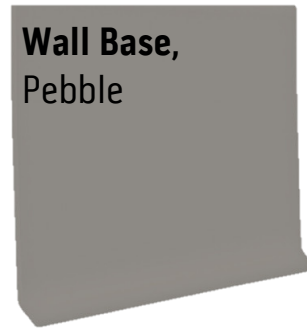
LVT Flooring, Dormitory



Reading Lamp,
WAC Lighting, Sprig
Brushed Nickel



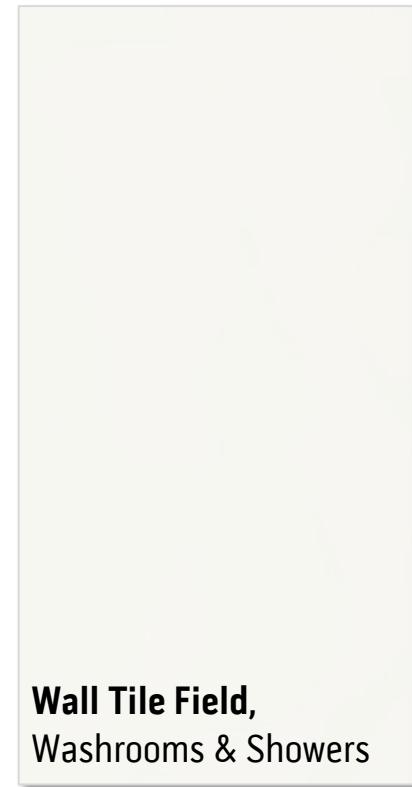
Personal Shelving, Wood (stained)



Wall Base,
Pebble



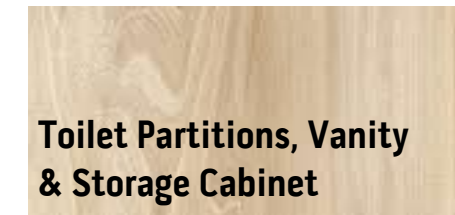
WASHROOM



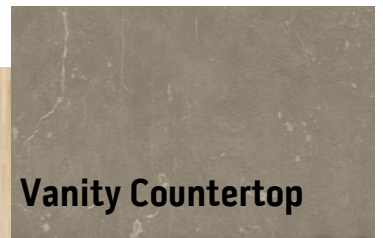
Wall Tile Field,
Washrooms & Showers



Vanity Lighting, Washroom 204



Toilet Partitions, Vanity & Storage Cabinet



Vanity Countertop



Wall Tile Accent Showers



Floor Tile, Washrooms



Floor Tile, Showers

CLIENT:

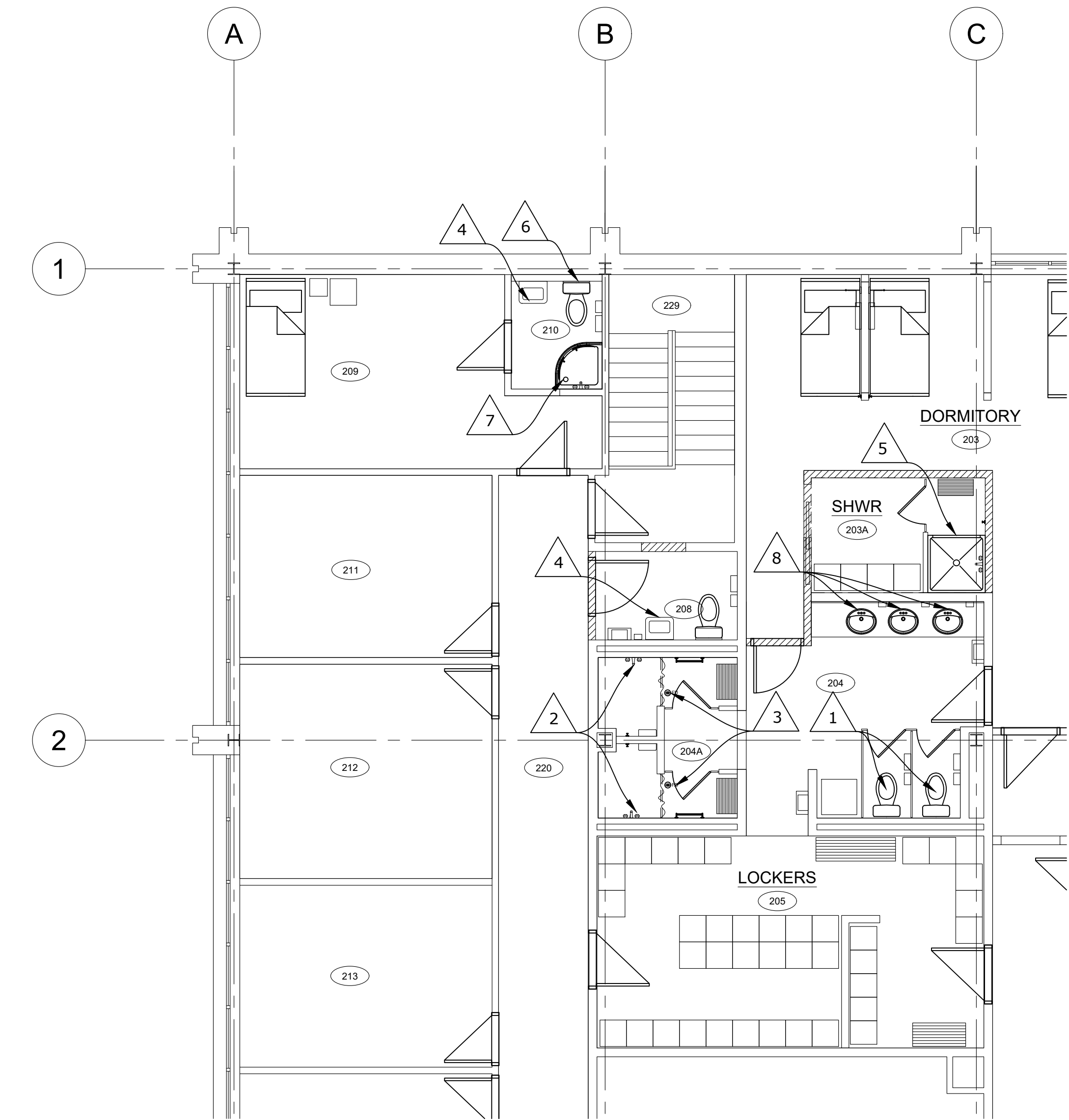
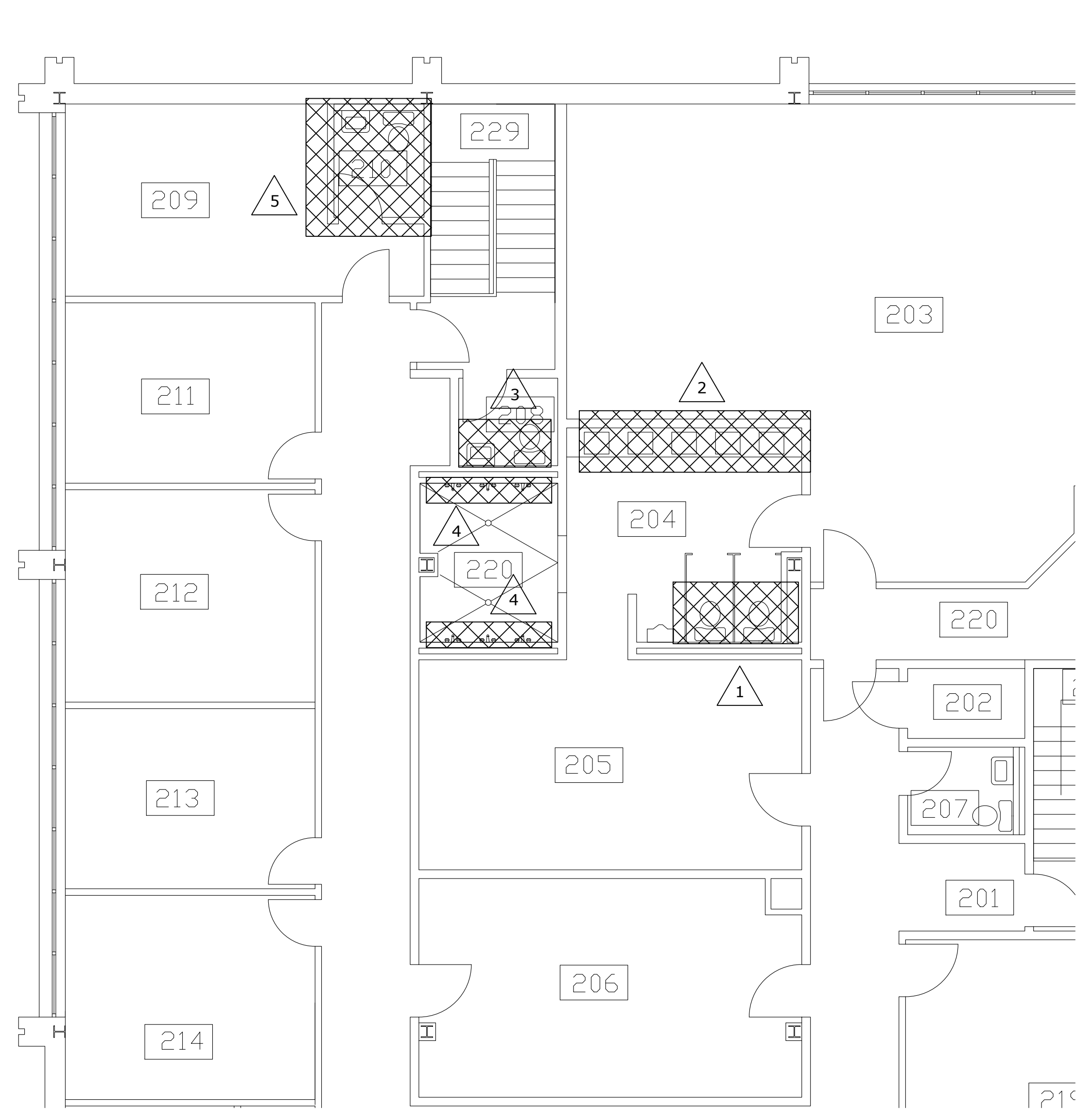
CITY OF SAINT JOHN
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MECHANICAL
 M1 - PLUMBING
 M2 - VENTILATION
 M3 - SPECIFICATIONS

ELECTRICAL
 E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION LAYOUT
 E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT
 E3.0 ELECTRICAL SPECIFICATIONS



1 DEMOLITION PLAN - PLUMBING
 M1 SCALE: 3/16" = 1'-0"

2 NEW CONSTRUCTION PLAN - PLUMBING
 M1 SCALE: 3/16" = 1'-0"

GENERAL NOTES: PLUMBING
 THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL LOCATIONS FOR PLUMBING FIXTURES AND EQUIPMENT PIPING CONNECTIONS. THIS CONTRACTOR SHALL VERIFY ALL EQUIPMENT AND FIXTURE LOCATIONS ON SITE PRIOR TO INSTALLATION. USE MANUFACTURER'S SPECS AND TEMPLATES FOR ALL PIPING CONNECTIONS TO PLUMBING FIXTURES AND EQUIPMENT PER SCHEDULE.

THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEMS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ALL APPLICABLE CODES AND STANDARDS.

ALL VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CANADIAN PLUMBING CODE. THIS CONTRACTOR SHALL SUBMIT TO THE LOCAL AUTHORITY HAVING JURISDICTION FOR REVIEW OF THE PROPOSED VENT PIPING AND STACK RISER ARRANGEMENTS. THE LOCAL AUTHORITY HAVING JURISDICTION SHALL APPROVE PRIOR TO INSTALLATION. CONNECT NEW PLUMBING VENT TO EXISTING VENT TERMINAL WHERE POSSIBLE.

THIS CONTRACTOR SHALL PROVIDE ALL LABOUR, MATERIALS, TOOLS, ETC. REQUIRED FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEMS AS SHOWN.

THIS CONTRACTOR SHALL PROVIDE ALL REQUIRED CLEARANCES AS RECOMMENDED BY MANUFACTURER TO ALLOW FOR PROPER OPERATION AND SERVICING OF ALL MECHANICAL EQUIPMENT.

THIS CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR CONNECTION OF SANITARY DRAINS TO EXISTING SERVICES TO PROVIDE FOR OPERATIONAL PLUMBING SYSTEMS.

ALL PENETRATIONS THROUGH ROOF AND/OR FLOOR SLAB SHALL BE WEATHER-TIGHT AND SEALED WITH WATERPROOF GROUTING COMPOUND. ALL ROOF WORK TO BE DONE BY LANDLORD'S ROOFING CONTRACTOR.

ALL PIPING SHALL BE RUN CONCEALED IN WALLS, CEILING, BULKHEADS, WITHIN JOIST SPACE, AND FURRED OUT PIPE CHASES UNLESS OTHERWISE INDICATED.

ALL PIPING SHALL BE PROPERLY SUPPORTED WITH PROPER PIPE HANGERS SECURELY ATTACHED TO THE BUILDING STRUCTURE AS PER LANDLORD'S STANDARDS.

VALVES AND UNIONS SHALL BE INSTALLED AS NECESSARY TO ALLOW FOR ISOLATION AND SERVICING OF MECHANICAL EQUIPMENT. PROVIDE ACCESSIBLE ISOLATION VALVES FOR DOMESTIC SUPPLY PIPING TO ALL PLUMBING FIXTURES. PROVIDE LOCATION IDENTIFICATION FOR ALL CONCEALED VALVES.

THIS CONTRACTOR SHALL CONDUCT A SITE SURVEY TO VERIFY ALL LOCATIONS ON SITE PRIOR TO INSTALLATION AND MODIFICATIONS AND TO DETERMINE THE EXTENT OF SYSTEM ALTERATIONS. ALL SITE VISITS TO BE COORDINATED WITH LANDLORD.

ALL PENETRATIONS THROUGH FIRE RATED SEPARATIONS SHALL BE SEALED WITH AN APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY AND RATING OF THE ASSEMBLY AND INSTALLED IN ACCORDANCE WITH NFPA.

PROVIDE TRAP SEAL PRIMERS TO PRIME ALL UNDERSLAB TRAPS, FLOOR DRAINS, AND FUNNEL FLOOR DRAINS.

GROUP 1/2"Ø TRAP SEAL PRIMER LINES AT CENTRAL LOCATIONS FOR CONNECTION TO TRAP SEAL PRIMER MANIFOLD OR DISTRIBUTION UNIT. ENSURE THAT TRAP PRIMER LINES ARE STUBBED UP ABOVE FLOOR AND NOT INSIDE FIRE RATED WALLS.

PLUMBING CONTRACTOR SHALL FIELD COORDINATE EXACT PIPE ROUTING WITH ALL CONSTRUCTION TRADES PRIOR TO INSTALLATION.

ALL PIPING SHALL BE INSTALLED ABOVE THE BOTTOM CHORD OF JOISTS THROUGHOUT THE SPACE. ALL PLUMBING FIXTURES WATER SUPPLY PIPING SHALL BE VALVED AT SUPPLY BRANCH. BRANCH SHUT-OFF VALVES SHALL BE INSTALLED NO HIGHER THAN 12 INCH ABOVE CEILING TO BE ACCESSIBLE FOR MAINTENANCE PURPOSES. PROVIDE ACCESS PANELS AS NEEDED.

COORDINATE WATER LINES WITH ELECTRICAL CONTRACTOR, PIPING SHALL NOT BE ROUTED OVER ELECTRICAL PANELS, EQUIPMENT OR CLEAR WORKING SPACE.

CONTRACTOR SHALL INSTALL ALL NECESSARY WALL AND/OR FLOOR CLEANOUTS TO BE ACCESSIBLE FOR MAINTENANCE PURPOSES. CONTRACTOR SHALL COORDINATE EXACT LOCATION WITH LATEST FIXTURE PLANS PRIOR TO STARTING ANY WORK. PROVIDE ACCESS DOORS WHERE REQUIRED.

UNDERSLAB HORIZONTAL CONNECTIONS OF VENT PIPING TO WASTE SEWER SYSTEM SHALL NOT BE ALLOWED. CONTRACTOR SHALL INSTALL WASTE AND VENT PIPING AS REQUIRED PER APPLICABLE CODES.

ON COMPLETION OF PROJECT, SUBMIT THREE (3) HARD COVER "OPERATING AND MAINTENANCE MANUALS" FOR APPROVAL. THE MANUALS SHALL CONTAIN AN INDEX PAGE AND TABBED DIVIDER PAGES, A LIST OF THE SUPPLIER'S NAMES, ADDRESSES AND TELEPHONE NUMBERS, OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT, COPIES OF TEST CERTIFICATES, ETC. AND INCLUDING A COMPLETE SET OF "APPROVED SHOP DRAWINGS". PROVIDE THE LANDLORD WITH AN APPROVED COPY OF O&M MANUALS.

KEY NOTES - DEMOLITION	
1	EXISTING WATER CLOSETS LOCATED IN WASHROOM 204 SHALL BE REMOVED. CONTRACTOR SHALL REMOVE DOMESTIC COLD WATER LINES BACK TO SHUT-OFF VALVE. CONTRACTOR SHALL REMOVE EXISTING TOILET FLANGE AND PROVIDE TEMPORARY BLOCKAGE FOR SANITARY DRAIN. EXISTING ELONGATED WATER CLOSET TO BE RELOCATED TO WASHROOM 210. CONTRACTOR TO CONFIRM TOILET FLANGE LOCATION IN WASHROOM 210 TO ENSURE THERE IS ADEQUATE SPACE.
2	EXISTING LAVATORIES IN WASHROOM 204 SHALL BE REMOVED AND DISPOSED OF. CONTRACTOR SHALL REMOVE DOMESTIC HOT AND COLD WATER LINES BACK TO SHUT-OFF VALVE. REMOVE SANITARY DRAIN BACK TO TRAP ARM CONNECTION WITHIN THE WALL SPACE TO ALLOW FOR RECONNECTION. DOMESTIC WATER AND SANITARY PIPING THAT WILL NOT BE RE-USED SHALL BE SEALED AND CAPPED WITHIN THE WALL OR FLOOR SPACE.
3	EXISTING LAVATORY AND ELONGATED WATER CLOSET TO REMAIN. LAVATORY TRIM TO BE REMOVED.
4	ALL EXISTING SHOWER HEADS AND VALVES TO BE REMOVED AND DISPOSED OF. DOMESTIC HOT AND COLD PIPING FOR SHOWER VALVE AND SHOWER HEAD ARE TO BE RE-USED FOR TWO (2) NEW SHOWER HEADS (REFER TO NEW CONSTRUCTION PLAN). ALL OTHER DOMESTIC HOT AND COLD WATER LINES ARE TO BE CAPPED AND SEALED.
5	EXISTING WATER CLOSET AND SHOWER LOCATED IN WASHROOM 210 SHALL BE REMOVED AND DISPOSED OF. CONTRACTOR SHALL REMOVE EXISTING TOILET FLANGE AND PROVIDE TEMPORARY BLOCKAGE FOR SANITARY DRAIN. CONTRACTOR TO REMOVE DOMESTIC HOT AND COLD WATER LINES FOR SHOWER BACK TO BRANCH TAKE-OFF WITHIN WALL OR FLOOR SPACE. EXISTING LAVATORY TO REMAIN. LAVATORY TRIM TO BE REMOVED.

KEY NOTES - NEW CONSTRUCTION	
1	CONTRACTOR TO INSTALL NEW WATER CLOSETS TO REPLACE EXISTING. PROVIDE NEW TOILET FLANGE AND DOMESTIC WATER CONNECTION, INCLUDING NEW SHUT-OFF VALVE AND STAINLESS STEEL BRAIDED SUPPLY LINE. WATER CLOSET SHALL BE AMERICAN STANDARD CADET MODEL 215CB.104 WITH ELONGATED BOWL, OPEN FRONT SEAT WITHOUT COVER, COLOR WHITE (OR APPROVED ALTERNATE).
2	CONTRACTOR TO PROVIDE NEW SHOWER HEAD AND VALVE FOR NEW SHOWERS. SHOWERS SHALL BE DELTA MODEL T14289-PR C/W R10000 SHOWER VALVE, OR APPROVED EQUAL.
3	CONTRACTOR TO PROVIDE NEW FLOOR DRAIN GRATE TO REPLACE EXISTING. CONFIRM EXISTING GRATE DIAMETER. STANDARD OF ACCEPTANCE: ZURN OR APPROVED ALTERNATE.
4	CONTRACTOR TO INSTALL NEW LAVATORY TRIM TO REPLACE EXISTING. LAVATORY TRIM SHALL BE COLONY PRO FAUCET MODEL 7075.200.002
5	CONTRACTOR TO PROVIDE NEW 1/2"Ø HOT AND COLD DOMESTIC WATER LINES, AND 2"Ø SANITARY DRAINAGE FOR NEW SHOWER. CONFIRM EXACT LOCATION OF CONNECTION POINT ON SITE. SHOWER SHALL BE MAAX MODEL CAMELIA SH-3636 OR APPROVED EQUAL. SHOWER HEAD AND VALVE SHALL BE DELTA MODEL T14289-PR C/W R10000 SHOWER VALVE. PROVIDE 12"x12" ACCESS HATCH MODEL CENTREX AHD. ACCESS HATCH TO BE PRIMED FROM MANUFACTURER. LOCATE HATCH ON DEMISING WALL BEHIND SHOWER VALVE.
6	CONTRACTOR TO INSTALL RELOCATED WATER CLOSET TO REPLACE EXISTING. PROVIDE NEW TOILET FLANGE AND DOMESTIC WATER CONNECTION, INCLUDING NEW SHUT-OFF VALVE AND STAINLESS STEEL BRAIDED SUPPLY LINE.
7	CONTRACTOR TO PROVIDE NEW 1/2"Ø HOT AND COLD DOMESTIC WATER LINES FOR NEW SHOWER. COORDINATE EXISTING DRAIN LOCATION WITH NEW SHOWER BASE. CONFIRM EXACT LOCATION OF CONNECTION POINT ON SITE. SHOWER SHALL BE MAAX MODEL RADIA 3232 OR APPROVED EQUAL. SHOWER HEAD AND VALVE SHALL BE DELTA MODEL T14289-PR C/W R10000 SHOWER VALVE. PROVIDE 12"x12" ACCESS HATCH MODEL CENTREX AHD. ACCESS HATCH TO BE PRIMED FROM MANUFACTURER. LOCATE HATCH ON DEMISING WALL BEHIND SHOWER VALVE.
8	CONTRACTOR TO INSTALL NEW LAVATORIES TO REPLACE EXISTING. PROVIDE NEW DOMESTIC HOT AND COLD WATER BRAIDED SUPPLY LINES, SHUT-OFF VALVES, STAINLESS STEEL P-TRAP AND TRAP ARM. LAVATORY SHALL BE AMERICAN STANDARD CADET MODEL 0419.444EC C/W 4" FAUCET HOLES, COLOR WHITE, COLONY PRO FAUCET MODEL 7075.200.002

PLUMBING FIXTURE REQUIREMENTS					
DESCRIPTION	DRAIN	VENT	DCW	DHW	REMARKS
BARRIER-FREE LAVATORY	1-1/4"	1-1/4"	1/2"	1/2"	c/w OFFSET WASTE AND PROTECTORS FOR DRAIN, STOPS, SUPPLIES, P-TRAP.
BARRIER-FREE WATER CLOSET	3"	2"	1/2"	--	c/w INSULATED TANK, FLUSH LEVER MOUNTED ON OPEN SIDE OF WASHROOM
SHOWER FAUCET	--	--	1/2"	1/2"	c/w MIXING VALVE, WALL CONTROLLER, SHOWER HEAD

GENERAL NOTES: DEMOLITION

- PROVIDE ALL LABOR, TOOLS AND MATERIALS TO REMOVE ALL EXISTING PLUMBING FIXTURES, PLUMBING APPLIANCES, PIPING, HANGERS ETC. AS INDICATED ON THE DEMOLITION PLAN AND KEY NOTES.
- UNLESS OTHERWISE NOTED, REMOVE REDUNDANT SANITARY SERVICES BACK TO CONNECTION MAIN. VALVE, CAP AND SEAL REDUNDANT BRANCH TAKE-OFFS. MAIN SANITARY SERVICE LINES SHALL REMAIN FUNCTIONAL THROUGHOUT CONSTRUCTION.
- UNLESS OTHERWISE NOTED, REMOVE EXISTING REDUNDANT DOMESTIC WATER LINES BACK TO CONNECTION OF WATER MAIN. TAKE-OFF TO BE CAPPED.

SUBMISSIONS:

REV.	DATE	ISSUE
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	Drawn By: RG	Approved By: RG

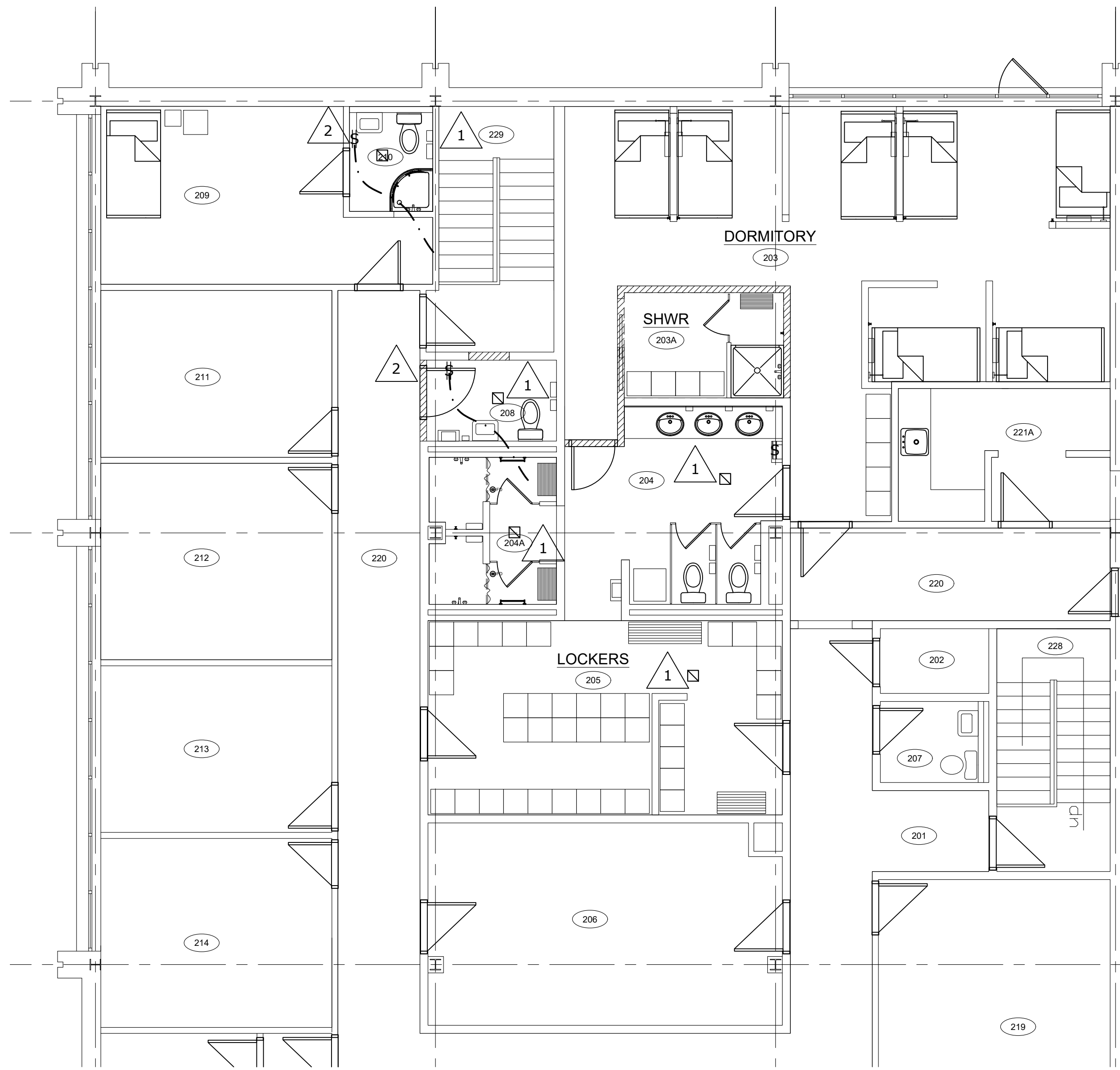
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PROFESSIONAL SEAL:

PROJECT NAME:
LIVING QUARTERS
FIRE STATION NO. 1
 45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:
PLUMBING

PROJECT NO: 16552
DATE: JULY, 2023
DWG. SCALE: 1/8" = 1'-0"
PLOT SCALE: AS SHOWN
DWG. NO: M1
REV. NO: 0



KEY NOTES - NEW CONSTRUCTION	
1	CONTRACTOR TO REMOVE EXISTING EXHAUST AIR GRILLE AND REPLACE WITH NEW 8"X8" GRILLE. GRILLE SHALL BE TITUS MODEL 350FL OR APPROVED ALTERNATE.
2	CONTRACTOR TO PROVIDE NEW ON/OFF SWITCH INTEGRATED WITH THE WASHROOM LIGHTING FOR EXISTING EXHAUST FAN IN WASHROOMS 208 AND 210. EXISTING WASHROOM EXHAUST FAN SHALL BE CONTROLLED FROM ANY OF THE THREE (3) NEW SWITCHES. EXHAUST FAN SHALL RUN FOR 15 MINUTES AFTER SWITCH IS DE-ENERGIZED. COORDINATE LINE VOLTAGE REQUIREMENTS AND SWITCH SPECIFICATIONS WITH ELECTRICAL.

1 NEW CONSTRUCTION PLAN - VENTILATION
M2 SCALE: 3/16" = 1'-0"

CLIENT:

CITY OF SAINT JOHN
 15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

CONSULTANTS:

ARCHITECT: TOSS SOLUTIONS
 INTERIOR DESIGN: TOSS SOLUTIONS
 MECHANICAL ENGINEERING: FUNDY ENGINEERING
 ELECTRICAL ENGINEERING: FUNDY ENGINEERING
 STRUCTURAL ENGINEERING: -
 CIVIL ENGINEERING: -
 ACOUSTIC SPECIALIST: -
 LANDSCAPE ARCHITECT: -

DRAWING LIST:

INTERIOR DESIGN
 ID0.0 GENERAL LEGENDS & KEY PLAN
 ID1.0 DEMOLITION PLAN & FLOOR PLAN
 ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW
 ID3.0 FINISHES PLAN & SCHEDULE
 ID4.0 INTERIOR ELEVATIONS
 ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS
 ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

MECHANICAL:

M1 - PLUMBING
 M2 - VENTILATION
 M3 - SPECIFICATIONS

ELECTRICAL:

E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION LAYOUT
 E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT
 E3.0 ELECTRICAL SPECIFICATIONS

SUBMISSIONS:

	Drawn By:	Approved By:
	Drawn By:	Approved By:
	Drawn By:	Approved By:
	Drawn By:	Approved By:
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PROFESSIONAL SEAL:



PROJECT NAME:

LIVING QUARTERS
 FIRE STATION NO. 1
 45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

VENTILATION

PROJECT NO:
16552

DATE:
JULY, 2023

DWG. SCALE:
1/8" = 1'-0"

PLOT SCALE:
AS SHOWN

DWG. NO:

M2

REV. NO:

0

CLIENT:

CITY OF SAINT JOHN

15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

CONSULTANTS:

ARCHITECT: TOSS SOLUTIONS
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MECHANICAL
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 M3 - SPECIFICATIONS

ELECTRICAL:
 E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION LAYOUT
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 E3.0 ELECTRICAL SPECIFICATIONS

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45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:
 SPECIFICATIONS

PROJECT NO: 16552 DATE: JULY, 2023
 DWG. SCALE: 1/8" = 1'-0" PLOT SCALE: AS SHOWN

DWG. NO: M3 REV. NO: 0

2 Drainage, Waste, and Vent Piping -

Furnish and install all drainage, waste, and vent piping for all plumbing fixtures and floor drains based on the Plumbing Fixture Schedule and drawings. Make required connections to building sanitary system in accordance with local regulations to provide functional plumbing systems.

Aboveground drainage and waste lines shall be XFR 15–50 PVC–DWV where permitted. Below ground drainage and waste lines may be ABS, PVC, or cast iron. Vent lines may be IPEX XFR or System 15.

3 Code Requirements -

Give all notices, secure all permits and licenses, conduct required testing on piping systems, as specified, and arrange for inspections by the Regional Plumbing Inspector where applicable. Plumbing systems shall be installed in accordance with all applicable codes and the requirements of the local authority.

4 Products/Fixtures -

Refer to Plumbing Key Notes

5.0 PIPING AND ACCESSORIES:

5.1 Reference Standards

.1 Plumbing Systems shall be installed in accordance with the Canadian National Plumbing Code (2015) and requirements of the local authority having jurisdiction.

5.2 Scope of Work

.1 Provide all labour, materials, tools, and equipment for the installation of all domestic, waste, and vent piping as required and shown on the drawings.

.2 Give all notices and arrange for inspections by the Regional Plumbing Inspector where applicable. Provide Owner and Engineer with a copy of all inspection reports.

5.3 Piping (General)

All pipe shall be:

- New and CSA approved.
- Accurately cut to measurements taken on site and installed without springing and forcing.
- Installed straight and true, free from snags.
- Squarely cut, properly reamed and neatly threaded.
- Free from rust, scale, dirt and oil before and after installation.
- Installed to permit free expansion and contraction, without excessive stress on the piping, valves and fittings.

5.4 Code Requirements -

.1 Before covering pipes, test the entire plumbing system in accordance with the Canadian Plumbing Code and local requirements. Testing shall be performed in the presence of the local authority having jurisdiction and/or the engineer to demonstrate workmanship.

5.5 Refrigeration Piping

~~ SECTION DELETED ~~

6.0 PLUMBING:

Scope of Work

.1 Domestic Water Piping -

.1 Piping and fittings shall be of one manufacturer.

.2 All water piping and fittings to be copper type "L" with stream line fittings. All connections over 1/2" to be silver soldered (1100°F). All connection 1/2" and less to be made with lead-free solder.

.3 In concealed spaces, and where permitted by the AHJ, domestic water piping to be manufactured from a cross-linkable high density polyethylene meeting the requirements of ASTM F876/F877, cNSF CSA B137.5, ULC/UL S101 UL263, and ULC S102/E84. Tubing is to be marked with the name of the manufacturer, nominal size, plastic tubing material designation code PEX 5306 (indicating that the PEX tubing has been tested and meets the F876 requirements for minimum chlorine resistance at the end use condition of 100% @140°F), design pressure and temperature ratings, relevant ASTM standards, manufacturing date and production code, as well as NSF-pw stamps.
 Acceptable manufacturer: Uponor or approved alternate.

.4 Install lead-free water hammer arrestors, Zurn model 1260XL, on all hot and cold water lines feeding each fixture or group of fixtures. This contractor shall repair all cases of water hammer at his expense.

PIPING SCHEDULE	
ITEM	DESCRIPTION
ABOVE GRADE STORM & SANITARY	PVC SYSTEM 15 WHERE EXPOSED, ABS-DWV WHERE CONCEALED.
BURIED SANITARY DRAIN	PVC OR ABS AS ACCEPTABLE TO GOVERNING AUTHORITIES AND AS PER THE PLUMBING CODE. SUSPEND PIPE FROM STRUCTURAL SLABS IN UNSTABLE SOIL CONDITIONS USING E.MYATT 316 STAINLESS STEEL CLEVIS HANGERS WITH 316 STAINLESS STEEL 5/8" DIAMETER RODS AT 3'-0" CENTERS MIN.
DOMESTIC COLD AND HOT WATER	UPONOR PEX-A OR APPROVED ALTERNATE. COPPER IN EXPOSED AREAS.
VENT	IPEX SYSTEM 15 DWV. IPEX SYSTEM XFR OR ROYAL PIPE LRS-25; HRS-2550. COATED PIPE IN CEILING SPACES USED AS RETURN AIR PLENUMS OR NON COMBUSTIBLE LOCATIONS, WITH 3M OR WARNOCK HERSEY ULC LABEL FIRESTOPS. SOLVENT CEMENT TO BE ACCEPTABLE TO THE PIPING MANUFACTURER. CONTACT IPEX FOR PRECISE INSTALLATION REQUIREMENTS IN NON COMBUSTIBLE LOCATIONS.
NOTES: 1) ALL PIPING MATERIALS AND INSTALLATION IS TO BE AS PER AUTHORITIES HAVING JURISDICTION AND THE PLUMBING CODE 2) PIPING IS TO BE SUPPORTED USING CLEVIS HANGERS AND CLAMPS WITH SPACING AS RECOMMENDED BY THE MANUFACTURER OR AS DICTATED BY THE CODE WHICH EVER IS THE MOST STRINGENT. SUSPEND PIPING FROM STRUCTURAL STEEL OR CONCRETE NOT FROM STEEL ROOF DECK. PIPING IS TO BE AS PER CSA-STD B64-10 3) DOMESTIC HOT, COLD, AND RE-CIRCULATION 4) REFER TO THE INSULATION SCHEDULE FOR PIPE COVERING 5) ALL PIPING IS TO BE STRAIGHT PARALLEL AND PERPENDICULAR TO THE BUILDING STRUCTURE. SLOPE ALL PIPING TO DRAIN POINTS. 6) ALLOW FOR ADEQUATE EXPANSION ON ALL PIPING.	

INSULATION SCHEDULE	
ITEM	DESCRIPTION
DOMESTIC HOT WATER AND CONDENSATE PIPING, VALVES FITTINGS, ETC.	USE DUAL TEMPERATURE GLASS FIBRE INSULATION WITH FIRE RESISTANT VAPOUR BARRIER JACKET (WHITE) AND FIREPROOF ADHESIVE AT ALL JOINTS. BUTT JOINTS SHALL BE WRAPPED WITH WHITE 4" WIDE VAPOUR BARRIER STRIPS SAME MATERIAL AS JACKET. THICKNESS FOR INSULATION OF PIPING 2" AND UNDER SHALL BE 1". THE INSULATION SHALL PASS UNBROKEN THROUGH ALL PIPE SLEEVES THICKNESS TO BE 1" UNLESS OTHERWISE NOTED, WATER METER INSULATION SHALL BE DOUBLE THICKNESS. SEAL ALL LONGITUDINAL AND CIRCUMFERENTIAL JOINTS WITH ADHESIVE.
VENT PIPING AT ROOF	USE DUAL 1" TEMPERATURE GLASS FIBRE INSULATION WITH FIRE RESISTANT VAPOUR BARRIER JACKET (WHITE) AND FIREPROOF ADHESIVE AT ALL JOINTS FOR 12" BELOW FINISHED ROOF.
NOTES: 1) ALL INSULATING PRODUCTS ARE TO BE EQUAL TO KNAUF, FIBREGLASS CANADA OR JOHNS MANVILLE. THE APPLICATION IS TO BE AS PER THE MANUFACTURER'S RECOMMENDATIONS, THE THERMAL INSULATION ASSOCIATION OF CANADA, AND AUTHORITIES HAVING JURISDICTION INCLUDING ASHRAE 90.1 2) USE WHITE TAPE WHERE TAPE IS REQUIRED ON INSULATION, AND USE PVC JACKETING (WHITE) ON ALL PIPE INSULATION WHERE EXPOSED.	

CLIENT:

CITY OF SAINT JOHN
 15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

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ELECTRICAL:

E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION LAYOUT
 E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT
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Drawn By:	Approved By:
Drawn By:	Approved By:
Drawn By:	Approved By:
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PROFESSIONAL SEAL:



PROJECT NAME:

LIVING QUARTERS
 FIRE STATION NO. 1

45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

DEMOLITION AND NEW
 POWER & COMMUNICATION
 LAYOUT

PROJECT NO:
 16552

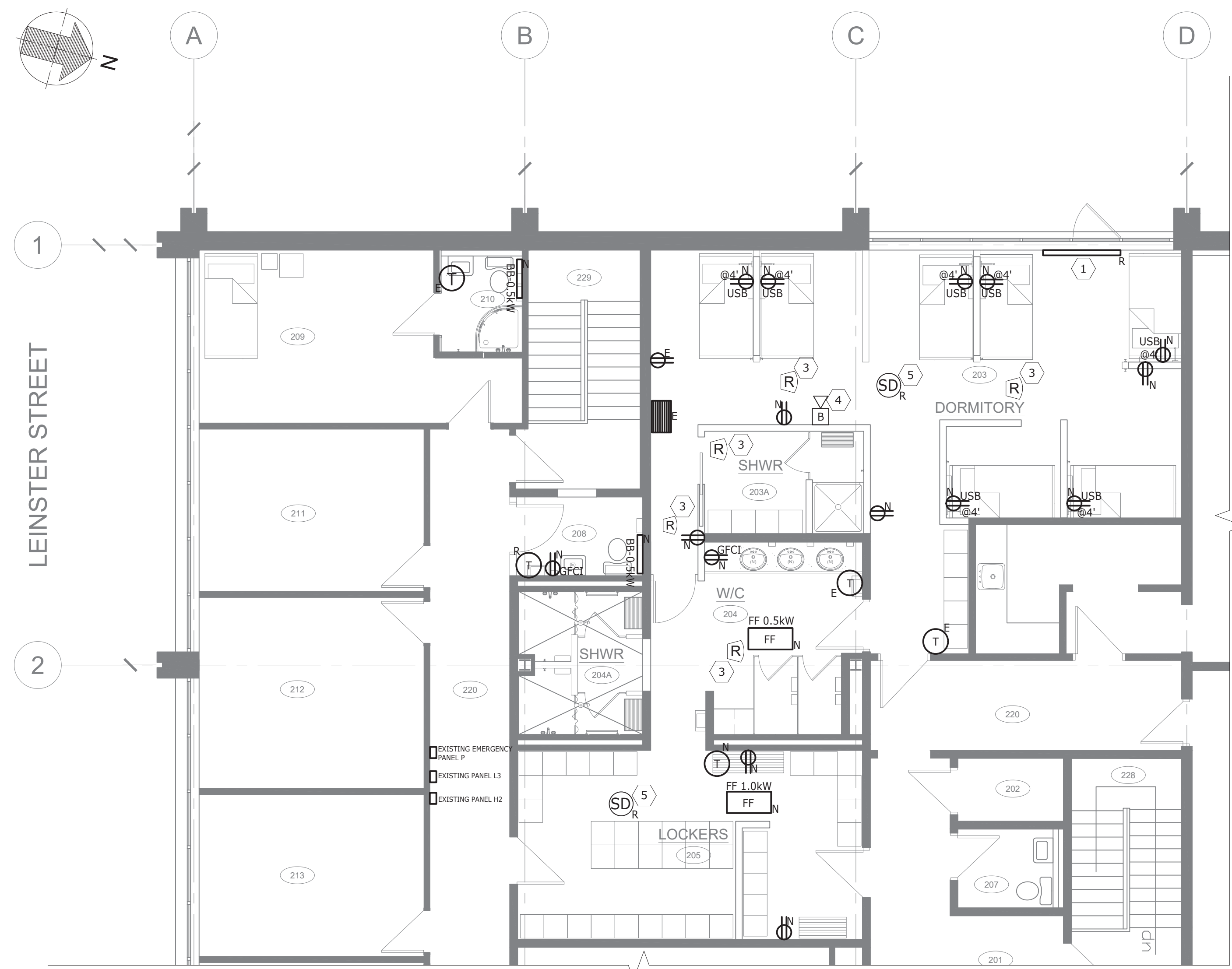
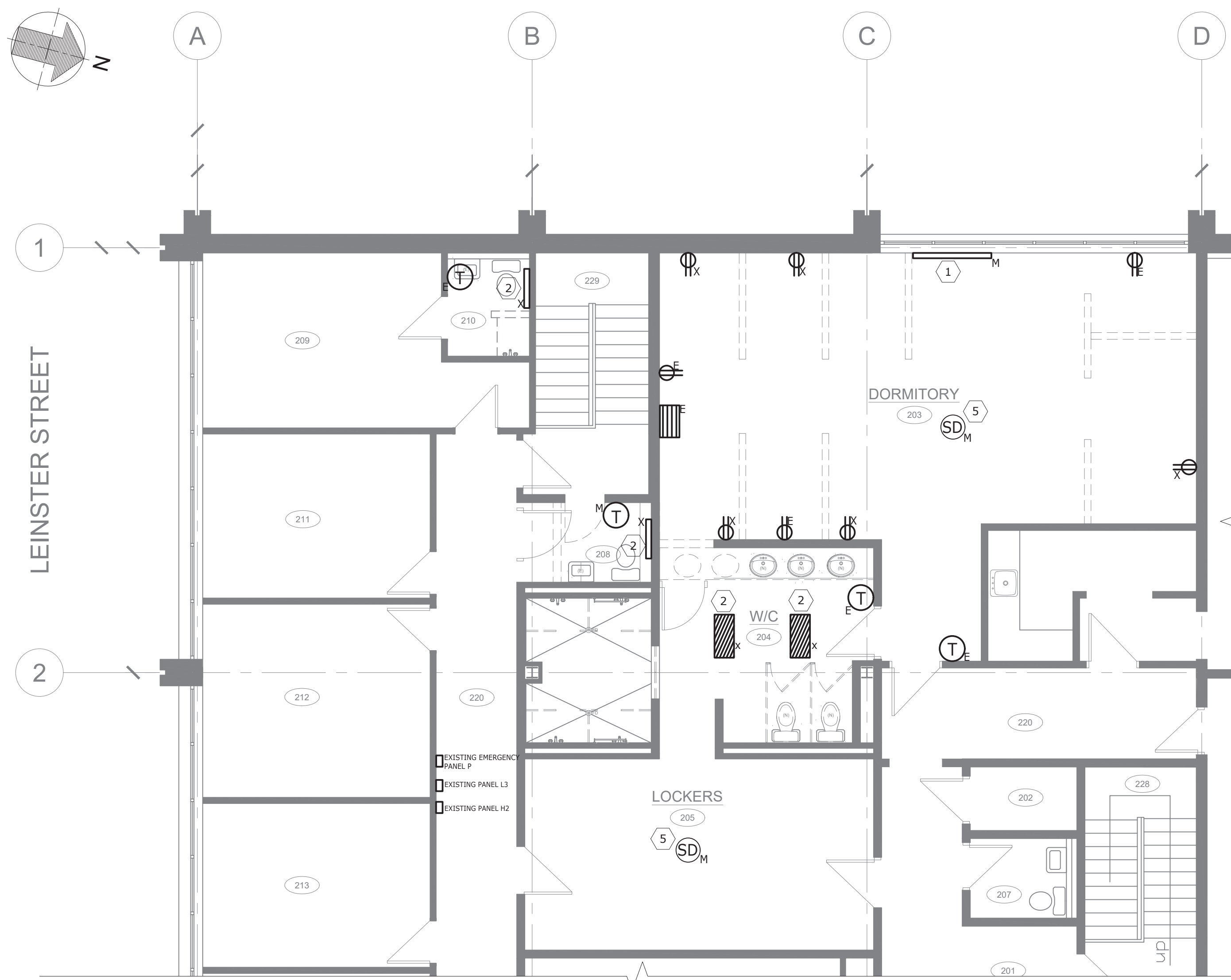
DATE:
 JUNE 14, 2023

DWG. SCALE:

PLOT SCALE:

DWG. NO:
E1.0

REV. NO:
 0



1 DEMOLITION PLAN - POWER & COMMUNICATION PLAN
 E1.0 SCALE: 3/16" = 1'-0"

2 NEW FLOOR PLAN - POWER & COMMUNICATION PLAN
 E1.0 SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND

	DUPLEX RECEPTACLE, 120V, 15A, DECORA, TAMPER RESISTANT, COMMERCIAL GRADE, COMPLETE WITH OFFICE NYLON FACE AND COVERPLATE.
	T-SLOT RECEPTACLE, 120V, 20A, DECORA, TAMPER RESISTANT, COMPLETE WITH OFFICE NYLON FACE AND COVERPLATE, NEMA 5-20RA
	ELECTRIC HEATER - SEE HEATING SCHEDULE FOR DETAILS
	INTERCOM CEILING SPEAKER, RECESSED MOUNTED
	FIRE ALARM SMOKE DETECTOR
	FIRE ALARM BELL
	THERMOSTAT RATED FOR CONNECTED LOAD AS INDICATED ON FLOOR PLANS - MOUNTING HEIGHT:1200mm PROGRAMABLE ELECTRONIC THERMOSTAT FOR BASEBOARD AND FAN HEATERS. THERMISTOR TEMPERATURE SENSING ACCURACY TO 0.5 DEGREES CELSIUS & TEMPERATURE RANGE FROM 5 - 30 DEGREES CELSIUS. COMPLETE WITH LCD BACK-LIT DISPLAY. MINIMUM 3-YEAR WARRANTY
	FORCED FLOW CEILING HEATER
	RADIANT HEATER
	FORCED FLOW WALL HEATER

ABBREVIATION:

- E - INDICATES EXISTING DEVICE TO REMAIN
- R - INDICATES NEW LOCATION OF RELOCATED DEVICE
- M - INDICATES EXISTING DEVICE TO BE RELOCATED
- N - INDICATES NEW DEVICE
- X - INDICATES EXISTING TO BE REMOVED
- GFCI - INDICATES DEVICE TO BE GROUND FAULT CIRCUIT INTERRUPTER
- USB - INDICATES DEVICE TO BE C/W USB-C RECEPTACLE

ELECTRICAL HEATING SCHEDULE

TYPE ID	MANUFACTURER	MODEL	VOLTAGE	NUMBER OF POLES	WATTAGE	NOTES
BB 0.5kW	STELPRO	BB SERIES	240V	2	500W	BASEBOARD HEATER - WHITE FINISH CONNECTED TO CONTROL THERMOSTAT
FF 0.5kW	STELPRO	SK SERIES	240V	2	500W	CEILING FAN HEATER - WHITE FINISH CONNECTED TO CONTROL THERMOSTAT
FF 1.0kW	STELPRO	SK SERIES	240V	2	1000W	CEILING FAN HEATER - WHITE FINISH CONNECTED TO CONTROL THERMOSTAT

ELECTRICAL NOTES

SYMBOL	DESCRIPTION
①	EXISTING BASEBOARD TO BE MOVED TO NEW LOCATION AS INDICATED ON THE FLOOR PLAN
②	EXISTING HEATERS TO BE DISCONNECTED, REMOVED AND REPLACED WITH NEW HEATERS AS INDICATED ON THE FLOOR PLANS
③	NEW SPEAKERS TO BE CONNECTED TO EXISTING DISPATCH SYSTEM. INSTALLED SPEAKERS SHALL MATCH THE EXISTING PC-580RU SPEAKERS. CONTRACTORS SHALL CONFIRM BEFORE INSTALLATION.
④	SUPPLY AND INSTALL A NEW FIRE ALARM BELL. TEST TO ENSURE MINIMUM DB READING OF 75DB. ALL INSTALLATION WORK MUST MEET OR EXCEED THE APPLICABLE CAN/ULC CODE FOR ALARM INSTALLATION OF ACCESSORIES. UPON COMPLETION OF WORK, TEST FIRE ALARM SYSTEM TO THE APPLICABLE CAN/ULC CODE
⑤	EXISTING SMOKE DETECTOR AND ALL ASSOCIATED WIRING SHALL BE RELOCATED TO NEW POSITION

GENERAL NOTES:

- THE CONTRACTOR SHALL:
 - REVIEW THE EXISTING ELECTRICAL INSTALLATIONS PRIOR TO STARTING WORK AND THE EXTENT OF ELECTRICAL DEMOLITION.
 - IDENTITY AND MAINTAIN EXISTING INSTALLATION THAT ARE TO BE REUSED OR MODIFIED. SUPPLY AND INSTALL NEW DEVICES AS INDICATED.
- REMOVE ALL EXISTING RECEPTACLES, CONDUIT AND WIRING AS INDICATED ON THE DRAWING.
- PROVIDE NEW TYPE ELECTRICAL PANEL DIRECTORY TO INDICATE ALL CIRCUITS THROUGHOUT THE SPACES AFTER WORK HAS BEEN COMPLETED. INDICATE ALL POWER CIRCUIT ON AS-BUILT DRAWINGS

CLIENT:

CITY OF SAINT JOHN
 15 MARKET SQUARE
 SAINT JOHN, NB, E2L 4L1

CONSULTANTS:

ARCHITECT: TOSS SOLUTIONS
 INTERIOR DESIGN: TOSS SOLUTIONS
 MECHANICAL ENGINEERING: FUNDY ENGINEERING
 ELECTRICAL ENGINEERING: FUNDY ENGINEERING
 STRUCTURAL ENGINEERING: FUNDY ENGINEERING
 CIVIL ENGINEERING: -
 ACUSTIC SPECIALIST: -
 LANDSCAPE ARCHITECT: -

DRAWING LIST:

INTERIOR DESIGN
 ID0.0 GENERAL LEGENDS & KEY PLAN
 ID1.0 DEMOLITION PLAN & FLOOR PLAN
 ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW
 ID3.0 FINISHES PLAN & SCHEDULE
 ID4.0 INTERIOR ELEVATIONS
 ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS
 ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

MECHANICAL

M1 PLUMBING
 M2 VENTILATION
 M3 SPECIFICATIONS

ELECTRICAL:

E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION LAYOUT
 E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT
 E3.0 ELECTRICAL SPECIFICATIONS

SUBMISSIONS:

	Drawn By:	Approved By:
	Drawn By:	Approved By:
	Drawn By:	Approved By:
	Drawn By:	Approved By:
0	JULY 14, 2023	ISSUED FOR TENDER
REV.	DATE	ISSUE
	Drawn By: MG	Approved By: CA

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PROFESSIONAL SEAL:



PROJECT NAME:

LIVING QUARTERS
 FIRE STATION NO. 1

45 LEINSTER STREET
 SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

DEMOLITION AND NEW
 LIGHTING LAYOUT

PROJECT NO:
 16552

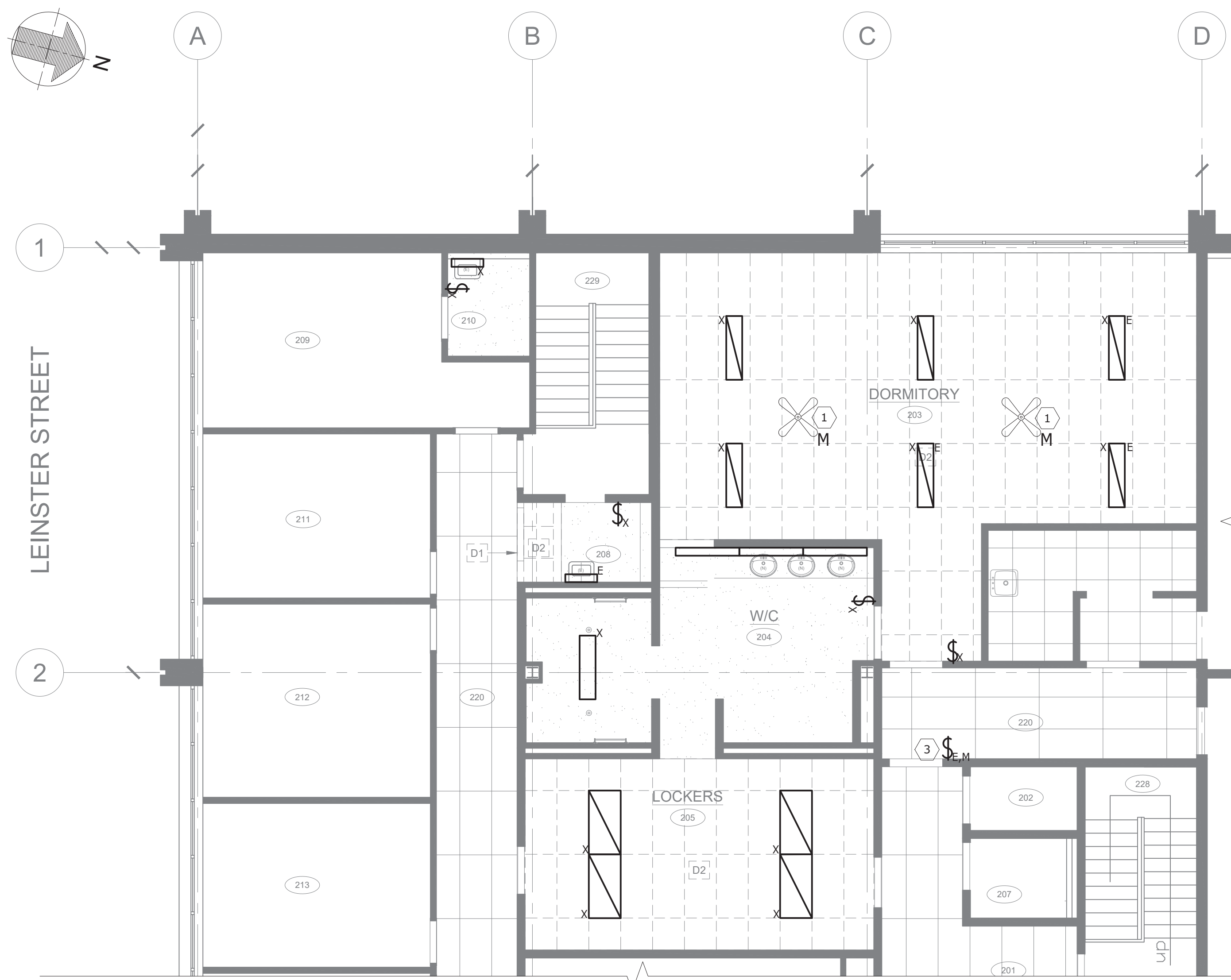
DATE:
 JUNE 14, 2023

DWG. SCALE:
 1/8" = 1'-0"

PLOT SCALE:
 1:1

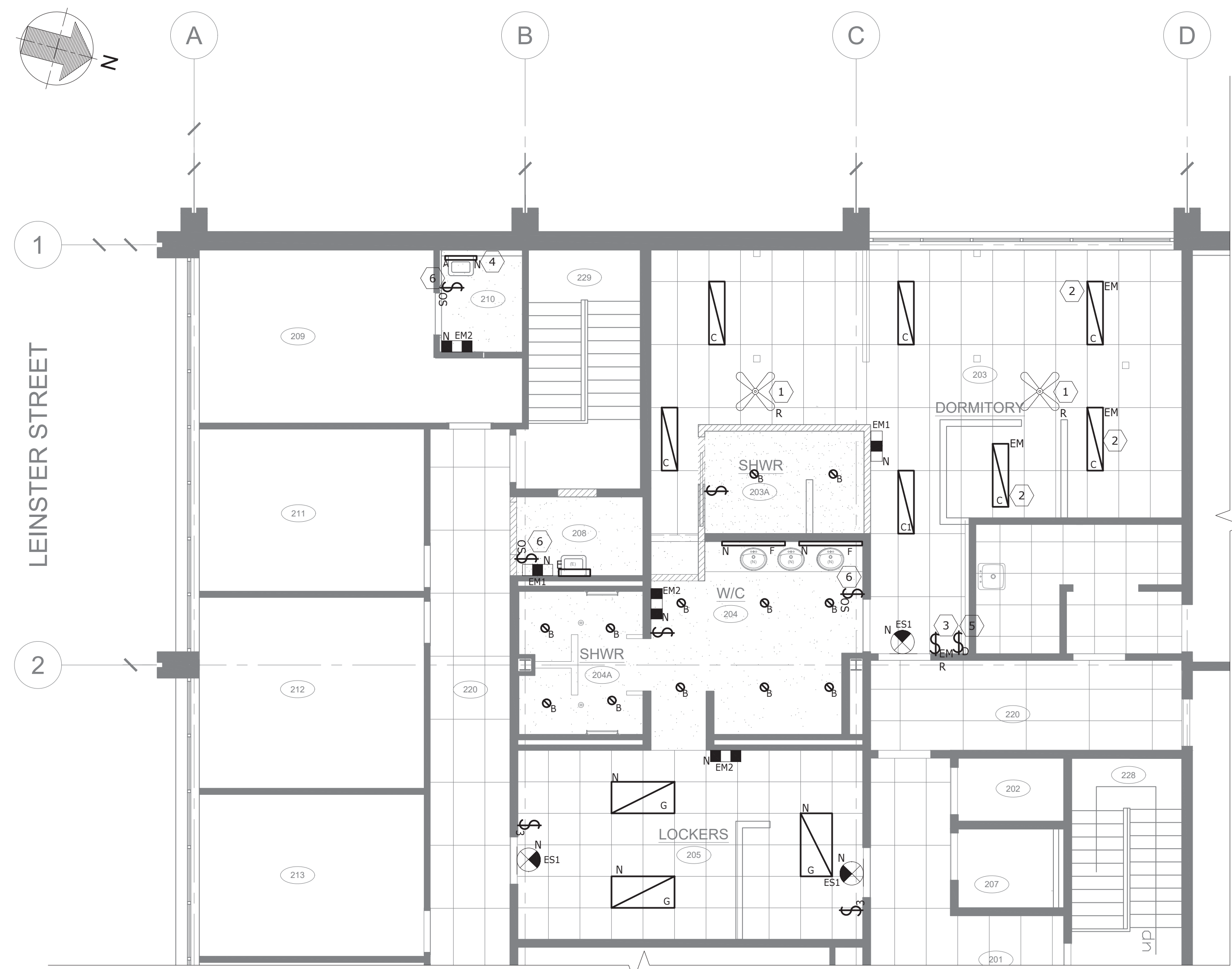
DWG. NO:
E2.0

REV. NO:
 0



1 DEMOLITION - LIGHTING PLAN

E2.0 SCALE: 3/16" = 1'-0"



2 NEW FLOOR PLAN - LIGHTING LAYOUT

E2.0 SCALE: 3/16" = 1'-0"

EMERGENCY/EXIT CONFIGURATION LEGEND

§	LIGHTING SWITCH
§ _b	LIGHTING DIMMER SWITCH
§ ₃	LIGHTING SWITCH - 3 WAY
(M)	LIGHTING OCCUPANCY SENSOR - C/W 15MIN OFF DELAY
⊙	RECESSED DOWNLIGHT
▭	LUMINAIRE
▬	VANITY LIGHT
■	DUAL HEAD REMOTE MOUNTED EMERGENCY UNIT
▣	DUAL HEAD EMERGENCY BATTERY LIGHTING UNIT WITH BATTERY
⊗	EXIT SIGN CEILING MOUNTED. SHADING INDICATES NUMBER AND LOCATION OF FACES, ARROW INDICATES EGRESS OF DIRECTION
⊕	EXIT SIGN, WALL MOUNTED

NOTE:
 SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE TYPES AND FURTHER INFORMATION FURTHER INFORMATION

DEVICE DESIGNATIONS:

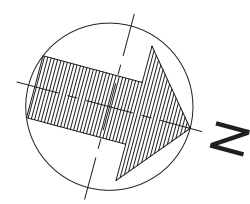
OS - INDICATES DEVICE WITH BUILT IN OCCUPANCY SENSOR
 a - LOWERCASE LETTERING INDICATES CONTROLLED FIXTURES AND ASSOCIATED DEVICES
 T - INDICATES DEVICE TO BE TAMPER RESISTANT
 EM - INDICATES DEVICE TO BE CONNECTED TO EMERGENCY LIGHTING SYSTEM
 R - INDICATES NEW LOCATION OF RELOCATED DEVICE
 M - INDICATES EXISTING DEVICE TO BE RELOCATED
 N - INDICATES NEW DEVICE
 X - INDICATES EXISTING TO BE REMOVED
 E - INDICATES EXISTING TO REMAIN

ELECTRICAL LIGHTING SCHEDULE

TYPE ID	MANUFACTURER	MODEL	PRODUCT DETAILS	WATTAGE	MOUNTING	NOTES
A	LITHONIA	FMV SERIES	FMVTSL-24IN-MVOLT-30K-90CRI-BN	26W	SURFACE ON WALL	WALL MOUNTED IN WASHROOM CENTERED ABOVE VANITY MIRROR
B	LITHONIA	LDN6 SERIES	LDN6-35/30-LO6AR-LSS-MVOLT-GZ10	35W	RECESSED IN CEILING	RECESSED MOUNTED IN SHOWER ROOM CEILING
C	LITHONIA	BLT4 SERIES			1'X4' LINEAR	LIGHTING FIXTURE SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR
C1	LITHONIA	BLT4 SERIES				NEW, TO MATCH OWNER SUPPLIED FIXTURE
H	WAC LIGHTING	SPRING	BL-23210-BN	5W	READING LAMP	REFER TO INTERIOR ELEVATIONS
G	LITHONIA	CPX LED PANEL	2X4-3000LM-80CRI-35K-5WL-MIN1-ZT-MVOLT-E10WLCF	26.4W	RECESSED IN CEILING	LIGHTING FIXTURE SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR
F	LEDALITE	MODIFY WALL	MF-W-L-935-35-W-N-04-D-E-1-N-NN-W48" LENGTHH	27.4W	SURFACE ON WALL	EVENLY SPACED AT VANITY. REFER TO INTERIOR ELEVATIONS
EM1	LUMACELL	RGS SERIES	FIXTURE: 120V BATTERY UNIT	200W	SURFACE ON WALL	EMERGENCY LIGHT BATTERY PACK
EM2	LUMACELL	MQM OR COMPATIBLE WITH BATTERY UNIT	VOLTAGE TO MATCH BATTERY UNIT. DUAL MR16 6W LED HEADS	6W	SURFACE ON WALL	EMERGENCY LIGHT REMOTE HEAD
ES1	LUMACELL	LA SERIES	120V-347V LED SELF POWERED	5W	SURFACE ON WALL	GREEN RUNNING MAN EXIT SIGN SELF POWERED

LIGHTING NOTES

SYMBOL	DESCRIPTION
GENERAL	EXISTING LIGHTING FIXTURES INDICATED IN THE DORMITORY AND LOCKER ROOM ARE TO BE REMOVED AND REPLACED WITH NEW OWNER SUPPLIED FIXTURES AS INDICATED ON THE DRAWINGS
①	RELOCATE EXISTING CEILING FAN C/W ALL ASSOCIATED WIRING TO NEW LOCATION AS INDICATED ON THE DRAWINGS
②	LIGHTING FIXTURES SHALL BE CONNECTED TO THE EXISTING EMERGENCY CIRCUIT. VERIFY ALL LIGHTING FIXTURE WITHIN THE SPACE CONNECTED TO EMERGENCY CIRCUIT PRIOR TO START OF WORK.
③	EXISTING EMERGENCY SWITCH SHALL BE RELOCATED TO NEW LOCATION AS INDICATED ON THE DRAWINGS
④	SUPPLY AND INSTALL NEW WALL MOUNTED VANITY LIGHT (TYPE 'A')
⑤	DIMMER SWITCH IS SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR.
⑥	SUPPLY AND INSTALL NEW OCCUPANCY LIGHT SWITCH IN WASHROOMS 204, 208 & 210. LIGHT SWITCH SHALL BE INTEGRATED WITH EXISTING EXHAUST FANS IN THESE WASHROOMS. EXISTING EXHAUST FANS IN THESE WASHROOMS SHALL BE CONTROLLED FROM ANY OF THE THREE(3) WASHROOMS SWITCH WITH A 15MINS DELAY TIMER.



ELECTRICAL SPECIFICATIONS

1. GENERAL PROVISIONS:

1.1. CODES, REGULATIONS, PERMITS:

- 1.1.1. WORK SHALL CONFORM TO THE LATEST RULES, REGULATIONS AND DEFINITIONS OF THE CANADIAN ELECTRICAL CODE, APPLICABLE MUNICIPAL AND PROVINCIAL CODES AND REGULATIONS AND WITH REQUIREMENTS OF OTHER AUTHORITIES HAVING JURISDICTION IN THE AREA WHERE WORK IS TO BE PERFORMED.
- 1.1.2. ALL EQUIPMENT AND MATERIAL SHALL BE CSA AND ULC APPROVED AND SO LABELLED.
- 1.1.3. OBTAIN ALL PERMITS, PAY ALL FEES, AND PRESENT FINAL UNCONDITIONAL APPROVAL CERTIFICATE FROM UTILITY AND BUILDING INSPECTION.
- 1.1.4. REFER TO AND COMPLY WITH THE GENERAL CONDITIONS AS INDICATED IN THE ARCHITECTURAL SPECIFICATION.

1.2. EXAMINATION OF SITE:

- 1.2.1. BEFORE TENDERING, EXAMINE SITE AND ALL APPLICABLE DRAWINGS SO THAT THE TENDER EXAMINE THE SITE AND LOCAL CONDITIONS AFFECTING THE WORK WITH ALL TENDER DOCUMENTS, TO ENSURE THE WORK CAN BE SATISFACTORILY PERFORMED AS SHOWN. PRIOR TO COMMENCING WORK, EXAMINE THE WORK OF OTHER DIVISIONS AND REPORT AT ONCE ANY DEFECT OR INTERFERENCE AFFECTING THE WORK OF THIS CONTRACTOR. NO ALLOWANCE WILL BE MADE LATER FOR ANY EXPENSES INCURRED THROUGH FAILURE TO MAKE THIS EXAMINATION OR TO REPORT ANY DISCREPANCIES IN WRITING.
- 1.2.2. THIS CONTRACTOR IS TO ATTEND ALL SITE MEETINGS PRIOR TO CLOSE OF TENDER TO CONFIRM SCOPE OF WORK.

1.3. WORK IN EXISTING BUILDING:

- 1.3.1. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS OF BUILDING RENOVATION.
- 1.3.2. BUILDING REDUNDANT EQUIPMENT AND MATERIALS: TO BE BROUGHT AND TURNED OVER TO THE OWNER'S BUILDING STORAGE, FOR FIRST RIGHT REFUSAL.
- 1.3.3. BUILDING MULLIONS, CEILING GRID AND CURTAIN WALL: DO NOT MAKE ANY PENETRATIONS UNDER ANY CONDITIONS.
- 1.3.4. EXECUTE ALL WORK USING MATERIALS AND METHODS TO PROVIDE SYSTEM OPERATION, QUALITY, AND APPEARANCE EQUAL TO OR BETTER THAN THE EXISTING BUILDING.
- 1.3.5. IF APPLICABLE, "X" RAY ALL LOCATIONS WHERE OPENINGS ARE REQUIRED IN THE FLOOR SLAB TO ENSURE THAT POST TENSION CABLES ARE NOT DAMAGED. "X" RAYING AND CORE DRILLING TO BE PERFORMED AFTER NORMAL WORKING HOURS.
- 1.3.6. COORDINATION OF THE INSTALLATION, PHASING, WORKING CONDITIONS, TIME SCHEDULES, IS TO BE CAREFULLY COORDINATED.
- 1.3.7. WHERE EXISTING SERVICES PRESENTLY MOUNTED ON AND/OR CONCEALED BEHIND EXISTING FINISHES BECOME EXPOSED DURING THE RENOVATION WORK, AND WHERE THESE SERVICES WILL NOT BE CONCEALED BEHIND OR MOUNTED ON NEW FINISHES, INCLUDE FOR RELOCATING THE SERVICE SO AS TO BE CONCEALED BEHIND OR ON NEW OR EXISTING FINISHES. COORDINATE NEW LOCATIONS WITH THE ARCHITECT.
- 1.3.8. WHERE DISRUPTIONS OR EXISTING SERVICES ARE REQUIRED COORDINATE THE SHUT-DOWNS WITH THE OWNER AND CARRY OUT THE WORK AT A TIME AND IN A MANNER ACCEPTABLE TO THEM. CAREFULLY SCHEDULE ALL DISRUPTIONS AND/OR SHUT-DOWNS AND ENSURE THAT THE DURATION OF SAME IS KEPT TO THE ABSOLUTE MINIMUM. SUBMIT FOR APPROVAL A WRITTEN CONCISE SCHEDULE OF EACH DISRUPTION AT LEAST 72 HOURS IN ADVANCE OF PERFORMING WORK AND OBTAIN OWNER'S WRITTEN CONSENT PRIOR TO IMPLEMENTING.
- 1.3.9. ASSUME FULL RESPONSIBILITY FOR ANY DISRUPTION OR DAMAGE TO EXISTING SERVICES OR SYSTEMS. SHOULD ANY TEMPORARY CONNECTIONS BE REQUIRED TO MAINTAIN SERVICES DURING WORK IN THE EXISTING BUILDING, SUPPLY AND INSTALL ALL NECESSARY MATERIAL AND EQUIPMENT AND PROVIDE ALL LABOR AT NO EXTRA COST. SHOULD ANY EXISTING SYSTEM OR DEVICE BE DAMAGED IN THE COURSE OF WORK BY THIS DIVISION, MAKE FULL REPAIRS WITHOUT EXTRA COST AND TO THE SATISFACTION OF THE OWNER.

1.4. OWNER'S RIGHT TO RELOCATE ELECTRICAL ITEMS:

- 1.4.1. THE OWNER RESERVES THE RIGHT TO RELOCATE ELECTRICAL ITEMS AT A LATER DATE, BUT PRIOR TO INSTALLATION, WITHOUT COST, ASSUMING THAT THE RELOCATION OF EACH ITEM DOES NOT EXCEED 10 FEET FROM ITS ORIGINAL LOCATION.

1.5. SHOP DRAWINGS:

- 1.5.1. PROVIDE ONE ELECTRONIC (PDF) COPY OF MANUFACTURER'S SHOP DRAWINGS FOR APPROVAL. SHOP DRAWINGS SHALL INCLUDE, ALL DISTRIBUTION EQUIPMENT, LIGHT FIXTURES, EMERGENCY BATTERY UNITS, AND OTHER SPECIAL EQUIPMENT.

1.6. CUTTING AND PATCHING:

- 1.6.1. BE RESPONSIBLE FOR ALL CUTTING AND PATCHING NECESSARY FOR COMPLETION OF YOUR WORK.

1.7. IDENTIFICATION:

- 1.7.1. PROVIDE LAMICOID NAMEPLATES ON ALL DISCONNECT SWITCHES, PANELS ETC.
- 1.7.2. PROVIDE TYPEWRITTEN DIRECTORIES FOR ALL NEW PANELS AND UPDATE DIRECTORIES FOR ALL EXISTING PANELS.
- 1.7.3. ALL LIGHT SWITCHES, LIGHTS, RECEPTACLES, MANUAL STARTERS, DIRECT CONNECTION EQUIPMENT, JUNCTION BOXES, OUTLET BOXES, AND ALL BRANCH CIRCUIT WIRING RUN IN THE CEILING SPACE SHALL, HAVE ITS PANEL AND CIRCUIT IDENTIFIED WITH A LAMICOID NAMEPLATE OR A BRADY FOAM BACKED RAISED LABEL. BLACK LETTERS ON WHITE BACKGROUND, 6MM HIGH X 25MM LONG (IE. MA-3 OR MA-2,4,6). NAMEPLATES TO BE PROPERLY SECURED TO COVER PLATE OR EQUIPMENT.
- 1.7.4. CONDUITS AND PULL BOXES USED FOR COMMUNICATIONS SHALL BE CLEARLY UNIQUELY IDENTIFIED EVERY 30 FT TO SEPARATE THEM FROM OTHER PATHWAYS.
- 1.7.5. ALL GROUNDING AND BONDING ELEMENTS SHALL BE ADEQUATELY LABELED TO UNIQUELY STATE THEIR CONNECTION OR FUNCTION.
- 1.7.6. ALL FIRE STOPS SHALL BE ADEQUATELY LABELED, INCLUDING INSTALLERS NAME, ADDRESS, PHONE NUMBER, DATE, AND FIRE RATING.

1.2. AS-BUILT DRAWINGS AND OPERATIONAL MANUAL:

- 1.2.1. AT THE COMPLETION OF WORK, PROVIDE OWNER WITH A SET OF AS-BUILT RECORD DRAWINGS AND O&M MANUALS C/W THE FOLLOWING:
 - TABLE OF CONTENTS.
 - NAMES, ADDRESSES AND TELEPHONE NUMBERS OF LOCAL SUPPLIERS FOR ITEMS INCLUDED IN OPERATION AND MAINTENANCE MANUALS.
 - COPY OF REVIEWED SHOP DRAWINGS.
 - NAME AND ADDRESS OF ELECTRICAL CONTRACTOR.
 - COPY OF ALL TEST CERTIFICATES.
 - COPY OF ALL FINAL PANELBOARD SCHEDULES.

2. BASIC MATERIAL AND METHODS:

2.1. WIRING METHODS:

- 2.1.1. ALL BUILDING WIRES AND CABLES SHALL BE COPPER THERMOPLASTIC TYPE RW90 75 DEGREES C RATED AND INSTALLED IN CONDUIT. MINIMUM SIZE SHALL BE #12 AWG. FOR FINAL CONNECTIONS TO HEATING EQUIPMENT USE SILICONE INSULATED TYPE WIRE, SUITED FOR THIS PURPOSE. ALL CONDUITS SHALL BE EMT TYPE GALVANIZED STEEL UTILIZING SET SCREW FITTINGS, INSULATED THROAT CONNECTION AND COUPLINGS. ALL CONDUITS SHALL BE CONCEALED EXCEPT IN UNFINISHED AREAS.
- 2.1.2. BRANCH CIRCUIT WIRING EXCEEDING 100 FEET TO THE FURTHEST OUTLET FROM A PANELBOARD SHALL BE #10 AWG. BRANCH CIRCUIT WIRING EXCEEDING 150 FEET TO THE FURTHEST OUTLET FROM A PANELBOARD SHALL BE #8 AWG.
- 2.1.3. AC90 ARMORED CABLE (BX) MAY BE USED FOR LUMINAIRE CONNECTION AND IN EXISTING WALLS, WHERE CONDUIT IS NOT PRACTICAL MAXIMUM LENGTH 10 FEET.
- 2.1.4. ALL CONDUITS SHALL BE RUN PARALLEL TO WALLS AND CEILINGS. PROVIDE A NYLON FISH WIRE IN ALL EMPTY CONDUITS.
- 2.1.5. IN AREAS WITH DRYWALL CEILINGS, CONTRACTOR SHALL LOCATE/RELOCATE ALL NEW/EXISTING JUNCTION BOXES, PULL BOXES, DISCONNECTS, ETC. TO ACCESSIBLE AREAS; AS REQUIRED BY THE CANADIAN ELECTRICAL CODE. WHERE IT IS NOT POSSIBLE TO RELOCATE/INSTALL EXISTING/NEW SERVICES IN ACCESSIBLE AREAS, CONTRACTOR SHALL PROVIDE ACCESS PANELS C/W FIRE RATINGS AS REQUIRED. EXACT LOCATION OF ACCESS PANELS SHALL BE COORDINATED WITH THE ARCHITECT.
- 2.1.6. SUPPORT ALL CONDUITS AND WIRING INDEPENDENT OF CEILING SYSTEM.

2.2. OUTLET BOXES AND JUNCTION BOXES:

- 2.2.1. PROVIDE AN OUTLET BOX FOR EACH LIGHTING FIXTURE, WIRING DEVICE, ETC. BOXES SHALL BE SUITABLE FOR THE APPLICATION.
- 2.2.2. SUPPORT BOXES INDEPENDENT OF CONDUIT.
- 2.2.3. ALL BOXES SHALL BE INSTALLED SO AS TO BE ACCESSIBLE AFTER WORK IS COMPLETE. PROVIDE PULL BOXES ON ALL CONDUIT RUNS ON THE BASIS OF NOT MORE THAN TWO RIGHT ANGLE BENDS OR THEIR EQUIVALENT OR A DISTANCE NOT TO EXCEED 100 FEET BETWEEN BOXES.

2.3. DEVICES:

- 2.3.1. TEMPER RESISTANT RECEPTACLES AS REQUIRED BY THE CANADIAN ELECTRICAL CODE: DECORA STYLE, WHITE IN COLOR, MOUNTED AS PER ARCHITECTURAL DRAWINGS. STANDARD DUPLEX AND GFI DUPLEX.
- 2.3.2. RECEPTACLES OF ONE MANUFACTURER THROUGHOUT THE PROJECT.
- 2.3.3. SWITCHES: DECORA STYLE, WHITE IN COLOR. MOUNTED AS PER ARCHITECTURAL DRAWINGS.
- 2.3.4. SWITCHES OF ONE MANUFACTURER THROUGHOUT THE PROJECT.
- 2.3.5. COVERPLATES SHALL BE WHITE IN COLOR AND AS INDICATED, MOUNTED AS PER ARCHITECTURAL DRAWINGS.
- 2.3.6. COVERPLATES OF ONE MANUFACTURER THROUGHOUT THE PROJECT.

3. DISTRIBUTION:

3.1. PANELBOARDS:

- 3.1.1. INSTALL NEW PANELBOARD AS INDICATED WHERE APPLICABLE, MANUFACTURED BY EATON, SCHNEIDER OR SIEMENS.
- 3.1.2. PANEL BOARDS SHALL HAVE SURFACE TRIM AND DOORS FINISHED FOR SURFACE MOUNTED AS SHOWN ON DRAWINGS, BOLT-ON CIRCUIT BREAKER TYPE, SIZED AND OF TYPES AND ELECTRICAL CHARACTERISTICS AS INDICATED ON DRAWINGS.
- 3.1.3. BALANCE THE LOADING ON FEEDERS SO THAT UNBALANCED LOAD IS LESS THAN 10%

3.2. GROUNDING:

- 3.2.1. PROVIDE A COMPLETE GROUNDING SYSTEM THROUGHOUT THE ENTIRE ELECTRICAL SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE CANADIAN ELECTRICAL CODE AND TO THE SATISFACTION OF THE LOCAL AUTHORITY.

3.3. LIGHTING:

- 3.3.1. FOR ALL LIGHTING FIXTURES, CONTRACTOR SHALL BE RESPONSIBLE FOR ASSEMBLY, INSTALLATION AND WIRING, COMPLETE WITH ACCESSORIES.
- 3.3.2. ALL NEW LIGHTING FIXTURES SHALL BE SUPPORTED INDEPENDENT OF THE CEILING SYSTEM TO THE APPROVAL OF THE CANADIAN ELECTRICAL CODE.

3.4. EXIT AND EMERGENCY LIGHTING:

- 3.4.1. PROVIDE ALL NEW EXIT LIGHTS AND EMERGENCY LIGHTING AS NOTED ON THE DRAWINGS.
- 3.4.2. ALL EQUIPMENT SHALL COMPLY WITH C22.2.141.
- 3.4.3. BATTERY UNITS SHALL BE AS SPECIFIED WITH 10 YEAR DESIGN LIFE, INTEGRAL HIGH/LOW CHARGER WITH INDICATING AND PILOT LIGHT, TEST SWITCH, LOW VOLTAGE CUT-OUT, AND OVERLOAD PROTECTION.
- 3.4.4. WIRING SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS.

4. FIRE ALARM SYSTEM:

- 4.1. THE BUILDING PRESENTLY HAS AN EXISTING FIRE ALARM SYSTEM. PROVIDE A COMPLETE FIRE ALARM SCOPE OF WORK AS INDICATED ON DRAWINGS.
- 4.2. MODIFICATION OF THE FIRE ALARM SYSTEM SHALL CONFORM TO 2015 NBC 3.2.4., CAN/ULC-S524 AND CAN/ULC-S537.
- 4.3. ALL NEW FIRE ALARM DEVICES SHALL MATCH EXISTING.
- 4.4. ALL FIRE ALARM WORK TO BE PERFORMED BY OWNER'S APPROVED SUB-TRADE AS PART OF THIS ELECTRICAL CONTRACTOR'S COST.
- 4.5. OBTAIN THE SERVICES OF THE SYSTEM MANUFACTURER TO PERFORM ANY AND ALL MODIFICATIONS REQUIRED TO CONTROL AND ANNUNCIATOR EQUIPMENT.
- 4.6. ALL WIRING FOR THE SYSTEM SHALL BE INSTALLED IN CONDUIT AND SHALL COMPLY WITH REQUIREMENTS OF THE SYSTEM MANUFACTURER.
- 4.7. UPON COMPLETION OF WORK, NEW FIRE ALARM DEVICES SHALL BE VERIFIED BY A CONTRACTOR/COMPANY OTHER THAN THE INSTALLING CONTRACTOR/COMPANY. VERIFICATION SHALL INCLUDE NEW DEVICES/CABLING AND ANY EXISTING DEVICES/CABLING AFFECTED BY THE FIRE ALARM MODIFICATIONS.
- 4.8. FIRE ALARM SIGNALING BELLS SHALL BE INSTALLED IN THE SPACE TO ENSURE MINIMUM NBC CODE DICTATED ADIBILITY, QUANTITY OF BELLS SHALL BE CONFIRMED BY OWNER'S FIRE ALARM TECHNICIAN ON SITE. ALL FIRE ALARM ASSOCIATED COSTS SHALL BE INCLUDED IN THE ELECTRICAL CONTRACT.

5. CORE DRILLING:

- 5.1. NO ALTERATIONS BY MEANS OF CUTTING, DRILLING, TRENCHING, OR OTHERWISE, TO COLUMNS, FLOORS, ROOF, OR WALLS OF THE STRUCTURE WILL BE PERMITTED WITHOUT THE PRIOR WRITTEN APPROVAL, IN SPECIFIC TERMS BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 5.2. ALL TRENCHING ON THE FLOOR MUST BE DONE BY MEANS OF HAND CHIPPING ONLY. AT NO POINT IS IT PERMITTED TO CUT INTO THE STRUCTURAL SLAB, ALL PROPOSED CUTTING AND CORE DRILLING MUST BE SUBMITTED TO THE OWNER FOR OWNER'S PRIOR WRITTEN APPROVAL, A MINIMUM OF 30 DAYS BEFORE THE PROPOSED CORING DATE. SUBMITTAL REQUESTS SHALL BE IN SKETCH FORM SHOWING THE NUMBER, SIZE, AND DIMENSIONED LOCATIONS OF ALL PROPOSED CORING WORK.

TOSS:

STRATEGIC PLANNING & DESIGN
INTERIOR DESIGN : COMMERCIAL
LIVING : WORKPLACE STRATEGY
BUILDINGS : PROJECT MANAGEMENT

CLIENT:

CITY OF SAINT JOHN

15 MARKET SQUARE
SAINT JOHN, NB, E2L 4L1

CONSULTANTS:

ARCHITECT: TOSS SOLUTIONS
 INTERIOR DESIGN: TOSS SOLUTIONS
 MECHANICAL ENGINEERING: FUNDY ENGINEERING
 ELECTRICAL ENGINEERING: FUNDY ENGINEERING
 STRUCTURAL ENGINEERING: -
 CIVIL ENGINEERING: -
 ACOUSTIC SPECIALIST: -
 LANDSCAPE ARCHITECT: -

DRAWING LIST:

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SUBMISSIONS:

		Drawn By:	Approved By:
		Drawn By:	Approved By:
		Drawn By:	Approved By:
		Drawn By:	Approved By:
0	JULY 14, 2023	ISSUED FOR TENDER	
		Drawn By: MG	Approved By: CA
REV.	DATE	ISSUE	

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PROFESSIONAL SEAL:



PROJECT NAME:

LIVING QUARTERS
FIRE STATION NO. 1

45 LEINSTER STREET
SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

ELECTRICAL
SPECIFICATIONS

PROJECT NO: 16552 | DATE: JUNE 14, 2023

DWG. SCALE: 1/8" = 1'-0" | PLOT SCALE: 1:1

DWG. NO: **E3.0** | REV. NO: 0

APPENDIX B – FORM OF TENDER

**TENDER No. 2023-085103T
RETROFIT OF LIVING QUARTERS – FIRE STATION 1**

FORM OF TENDER

2023-085103T

RETROFIT OF LIVING QUARTERS – FIRE STATION 1

The undersigned bidder has carefully examined the specifications and scope of work, and also visited the premises to become familiar with the conditions, character and extent of work.

The undersigned bidder has determined the quality and quantity of labour, materials and equipment required, and has the capability to comply with the terms and conditions herein described.

The undersigned bidder further agrees to provide all necessary equipment, tools, labour and materials which are necessary to complete the work in accordance with the contract and agrees to accept, therefore, in payment in full, in accordance with the terms, conditions, specifications, and drawings, the sum of:

\$ _____
Total Cost (All Taxes Extra)

*Pricing is to be bid in Canadian Funds and FOB Saint John, NB prepaid. The tender pricing shall include all installation wages, fringe benefits, insurance, transportation, delivery, duty, working tools, equipment costs, and any other charges incurred in order to provide required materials and/or services.

COMPANY:	SIGNATURE: _____
E-MAIL:	NAME: _____ (print)
Date:	Tel # Fax #
H.S.T. Reg.#	Remarks:

APPENDIX C – FORM OF AGREEMENT

**TENDER No. 2023-085103T
RETROFIT OF LIVING QUARTERS – FIRE STATION 1**

AGREEMENT BETWEEN OWNER AND CONTRACTOR

THIS AGREEMENT made in triplicate between **THE CITY OF SAINT JOHN** herein (and in the Specifications) called the "Owner" or the "City"

AND

herein (and in the Specifications) called the "Contractor".

WITNESSETH: That the Owner and the Contractor agree as follows:

- (a) The Contractor shall provide all the materials and perform all the work shown on the drawings and described in the Contract Specifications titled:
Contract No: 2023-085103T _____
Title: RETROFIT OF LIVING QUARTERS – FIRE STATION 1
- (b) The Contractor shall do and fulfill everything indicated by this Agreement; and
- (c) The Contractor shall Substantially Complete the Work no later than October 31th, 2023.

CONTRACT DOCUMENTS

General Specifications

General Specifications, City of Saint John, New Brunswick, with all applicable divisions, as updated and as listed in the Table of Contents of the Contract Specifications.

Contract Specifications

Contract specifications for

Contract No: 2023-085103T _____

Title: RETROFIT OF LIVING QUARTERS – FIRE STATION 1

City of Saint John, New Brunswick,

Drawings

ID0.0	General Legend & Key Plans
ID1.0	Demolition Plan & Floor Plan
ID2.0	Reflected Ceiling Plan: Demolition & New
ID3.0	Finish Plan & Schedule
ID4.0	Interior Elevations
ID4.1	Casework Sections, Note & Hardware
ID5.0	Enlarged Plan & Details: Washrooms
ID6.0	Door, Frame, & Hardware Details & Schedule
ID7.0	Interior Specifications
M1	Plumbing
M2	Ventilation
M3	Specification

Drawings – Cont.

E1.0	Demolition and New Power & Communication Layout
E2.0	Demolition and New Lighting Layout
E3.0	Electrical Specifications

ADDENDA

The Contractor agrees that he has received addenda ___ to ___ inclusive, and that the tender price includes the provisions set out in the addenda.

CONTRACT PRICE

The Owner shall pay to the Contractor, in lawful money of Canada for the performance of the Contract, the amounts determined for each of the items of work completed at the unit prices as listed in the Schedule of Quantities and Unit Prices, plus applicable taxes, submitted with the tender, which is to be attached with this Agreement, for the total tender price of:

If the Engineer orders in writing the performance of any work not covered by the drawings or included in the specifications that cannot be classified as coming under any of the contract units and for which a unit price can be agreed upon, then such additional work shall be paid for as described under the General Administration of Contract, Division 6.

PAYMENT

The Owner shall pay on account of thereof upon the Engineer's Certificate, as invoiced by the Contractor and approved by the Engineer, in the manner described in the Specifications.

AGREEMENT DOCUMENTS

The General Administration of Contract, Division 6 and the aforesaid Specifications and Drawings are all to be read into and form part of this Agreement and the whole shall constitute the Contract between the parties and it shall inure to the benefit of and be binding upon them and their successors, executors, administrators, and subject to the General Administration of Contract, their assigns.

EXECUTION OF AGREEMENT

In Witness Whereof the parties hereto have executed this Agreement.

) SIGNED, SEALED AND DELIVERED
)
) this _____ day of _____, _____
)
) by _____
) (Contractor)
)
) _____
) (Witness) (Signature)
)
) _____
) (Name and Title) (Name and Title)
)
) _____
) (Signature)
)
) _____
) (Name and Title)
)
)
) *PLACE SEAL HERE*

)
)
) SIGNED, SEALED AND DELIVERED
)
) this _____ day of _____, _____
)
) by THE CITY OF SAINT JOHN.
)
)
) _____
) MAYOR
)
) _____
) COMMON CLERK
)
)
)
)
) *PLACE SEAL HERE*

AFFIDAVIT OF CORPORATE EXECUTION

CANADA

PROVINCE OF NEW BRUNSWICK

CITY OF SAINT JOHN

I, _____, of the _____
in the County of _____, and Province of New Brunswick

MAKE OATH AND SAY:

- (1) THAT I am the _____ of _____, and _____ is the _____ of the said Company, as such I am/we are duly authorized officer(s) of the said Company to execute the foregoing instrument.
- (2) THAT the signature _____ subscribed to the within instrument is my signature and in my own proper handwriting and that the signature _____ so subscribed is his signature made thereto by him in my presence.
- (3) THAT the Seal affixed to the said instrument purporting to be the Corporate Seal of the said _____ is the Corporate Seal of the said Company and was affixed to the said instrument by me and by order of the Board of Directors of the Company.

SWORN TO BEFORE ME at the _____)
)
of _____)
)
in the Province of _____)
)
this ____ day of _____ A.D., _____.)
)
_____) _____)
COMMISSIONER OF OATHS) CONTRACTOR
)

Note: The blank spaces are to be filled in with the name or names of the signing officer(s).