

City of Saint John

#### TENDER

# Tender # 2023-085103T **RETROFIT OF LIVING QUARTERS - FIRE STATION 1**

Sealed tenders, hand delivered or couriered, addressed to Monic MacVicar, CCLP, CPPB, Supply Chain Management, 1st Floor – 175 Rothesay Avenue, Saint John, NB, E2J 2B4, and marked on the envelope:

## "Tender # 2023-085103T RETROFIT OF LIVING QUARTERS – FIRE STATION 1"

will be received until 2:30:00 pm, Tuesday, August 8th, 2023 for the supply of all materials, labor and equipment necessary to complete the retrofit of the living quarters at Fire Station #1, in accordance with the enclosed specifications, drawings, terms and conditions.

In light of the current Covid-19 pandemic, there will be no public opening. Tenders will be opened by the Tender Opening Committee, in the first-floor boardroom, 175 Rothesay Avenue, Municipal Operations Complex, immediately following the tender closing time. Registered bidders may attend remotely via Teams invitation.

The lowest or any tender not necessarily accepted.

Monic MacVicar, CCLP, CPPB **Supply Chain Management** 

Issued: Wednesday, July 19th, 2023

# T E N D E R Tender # 2023-085103T RETROFIT OF LIVING QUARTERS – FIRE STATION 1

#### **SCOPE OF WORK:**

The City of Saint John is soliciting tenders from qualified bidders to supply all materials, labor and equipment necessary to complete the retrofit of the living quarters at Fire Station #1, as per the specifications, drawings, terms and conditions outlined in this document.

A pre-bid site visit will be held on Thursday, July 27<sup>th</sup>, 2023 at 11:00:00AM. We will meet in the lobby of Fire Station #1 which is located at 45 Leinster Street. All bidders are strongly urged to attend.

#### **SPECIFICATIONS:**

See Appendix A for specifications and drawings.

#### **TERMS AND CONDITIONS**

#### **Governing Law, Trade Treaties and Policies**

This procurement will be in accordance with the laws of the province of New Brunswick and the federal laws of Canada.

This procurement is also subject to the following Policies, Legislation and Internal Trade Agreement(s) including:

- Agreement on the Opening of Public Procurement for NB and Québec
- Canadian Free Trade Agreement
- New Brunswick Procurement Act and Regulation 2014-93
- City of Saint John Strategic Procurement Policy

#### **Submission Instructions**

Sealed tenders, hand delivered or couriered, addressed to Monic MacVicar, CCLP, CPPB, Supply Chain Management, 1st Floor – 175 Rothesay Avenue, Saint John, NB, E2J 2B4, and marked on the envelope:

#### "Tender # 2023-085103T RETROFIT OF LIVING QUARTERS – FIRE STATION 1"

will be received until 2:30:00 pm, Tuesday, August 8<sup>th</sup>, 2023 for the work contemplated in this document and in accordance with the enclosed specifications, drawings, terms and conditions.

#### **Enquiries**

Bidders shall promptly examine the bid documents and report any errors, omissions or ambiguities and may direct enquiries or seek additional information in writing by email before the deadline for enquiries to the Authorized Enquiries Contact as set out below. No such communications are to be directed to anyone other than the Authorized Enquiries Contact.

#### **Authorized Enquiries Contact**

Monic MacVicar, CCLP, CPPB Supply Chain Management City of Saint John

Email: <a href="mailto:supplychainmanagement@saintjohn.ca">supplychainmanagement@saintjohn.ca</a>

It is the Bidder's responsibility to seek clarification from the City on any matter it considers unclear. The City shall not be responsible for any misunderstanding on the part of the Bidder concerning this bid document or its process.

The City intends to confirm receipt of a bidder's communication by way of an email or facsimile in reply. If a bidder has not received a reply, the bidder may wish to resend its communication as the lack of reply may have resulted from a technical problem. The City is under no obligation to respond to enquiries or provide additional information but may do so at its sole discretion.

Responses to inquiries may be distributed to all bidders on the invitation list as having received the bid documents as of the date the response is prepared. The source of the question will not be identified in the response. Verbal information shall not be binding upon the City. Inquiries received after the deadline for enquiries will not receive a response.

#### Tender to be Submitted on Prescribed Form

Bidders are to submit their tender on the prescribed form contained in this document. Failure to submit on this form may result in the disqualification of the bid.

#### <u>Taxes</u>

The bid price shall be all taxes extra. The City of Saint John shall be invoiced for and pay all applicable taxes related to this bid.

#### **Schedule for the Bid Process**

| Issue Date                   | Wednesday, July 19 <sup>th</sup> , 2023                   |
|------------------------------|---|
| Pre-Bid Site Visit           | Thursday, July 27 <sup>th</sup> , 2023 at 11:00:00 am ADT |
| Deadline for Enquiries       | Monday, July 31 <sup>st</sup> , 2023 at 4:00:00 pm, ADT   |
| Deadline for Issuing Addenda | Tuesday, August 1 <sup>st</sup> , 2023 at 4:00:00 pm, ADT |
| Submission Deadline          | Tuesday, August 8 <sup>th</sup> , 2023 at 2:30:00 pm, ADT |
| Date of Award                | TBD   |

The Schedule for the bid process is tentative only and may be changed by the City in its sole discretion.

#### **Advisory Notice(s)**

Periodically, the City of Saint John is required to issue clarification notices to a bid document in the form of Advisory Notices. Normally these notifications will not have a direct bearing on the cost of a project and will not influence bidding.

Bidders are responsible for obtaining all advisory notice(s) issued by the City. Advisory Notice(s) may be obtained from the City's website (<a href="www.saintjohn.ca">www.saintjohn.ca</a>) under the Menu option, City Hall header, then "Tender and Proposals".

Bidders are instructed to sign the Advisory Notice and return it either by fax to (506) 658-4742 or email to <a href="mailto-supplychainmanagement@saintjohn.ca">supplychainmanagement@saintjohn.ca</a> prior to the closing date. Failure to comply with the instructions on an advisory may result in rejection of the bid.

#### Addenda

Periodically, the City of Saint John is required to issue notification of changes or corrections to a bid document by way of addenda. Normally these notifications will have direct bearing on the cost of a project and will influence bidding. Therefore, it is important that the City have assurances that bidders have in-fact received the notification(s).

Bidders are responsible for obtaining all addenda issued by the City. Addenda may be obtained from the City's website (<a href="www.saintjohn.ca">www.saintjohn.ca</a>) under the Menu option, City Hall header, then "Tender and Proposals".

#### Bidders are required to sign and include all addenda with their bid submission.

Failure to include a copy of all signed addenda with the bid submission may result in rejection of the bid regardless of whether or not the changes noted in the addendum are included in the bid submission.

#### **Mandatory Requirements**

Each submission will be evaluated to ensure that it complies with the mandatory requirements and may be rejected if it does not comply. The evaluation of mandatory requirements will confirm that:

- the submission was received prior to the applicable Submission Deadline;
- the bid submission is signed;
- the bid submission is legible;
- the bid submission does not contain a substantive qualification or conditions that are contrary to the terms of the bid document;
- the bid submission does not contain a change in price that was not initialled by the person who signed the submission; and
- the bid submission is in English;

#### **Payment**

Payment shall be based on Net 45 Days from date of invoice or receipt of goods/services, whichever is later. Invoices can either be mailed to: City of Saint John, Accounts Payable Department, P.O. Box 1971, Saint John, NB, E2L 4L1, or by email to the Accounts Payable department (accountspayable@saintjohn.ca). Vendors are to ensure invoices are not sent both ways.

#### **Pricing**

The tender prices shall include all installation wages, fringe benefits, insurance, transportation, delivery, duty, working tools, equipment costs, and any other charges incurred in order to provide required materials and/or services.

#### <u>Holdback</u>

A Hold back of 10% of all monies due to the contractor will be retained by the City until 60 days after the substantial completion date of the work, approved by the project manager, and receipt of a statutory declaration.

#### Substitutes

Substitute products will not be considered (where applicable).

#### **Verbal Agreement**

No verbal agreement or conversation with any officer, agent or employee of the owner either before or after execution of the contract shall effect or modify any of the terms or obligations contained in any of the documents comprising the said contract.

#### **Fax Tenders**

Tenders received by fax WILL NOT be accepted.

#### **Late Bids**

Bids received after the time and date as shown in this document shall not be considered.

#### **Cancelation Clause**

In the event that the successful bidder does not comply with the specifications and terms and conditions of this tender, at any time throughout the duration of the contract, the City of Saint John reserves the right to cancel the contract in its entirety.

#### **Basis for Award**

A The city does not limit itself to accepting the lowest, or any tender submitted, but reserves the right to award the tender in any manner deemed to be in the City's best interest. It is the City of Saint John's intention to award this agreement to one Vendor.

#### No guarantee

The City makes no guarantee as to the volume of the Deliverables.

#### Acceptance, Revocation and Rejection Of Tenders

The bidder agrees that his tender is a firm offer to supply the goods and/or services specified herein at the quoted price, and in accordance with the terms and conditions herein contained. The bidder may revoke his tender at any time prior to the time fixed for tender opening by delivering, or causing to be delivered, written notice of revocation to the designated official at the City of Saint John. Revocation will take effect from the time the notice is actually received. A notice of revocation will not be accepted after the time fixed for tender opening.

The bid shall not be restricted by a statement added to the Tender Form, or by a covering letter, or by alterations to the tender form as supplied, unless otherwise provided herein and further, a tender form that has been altered in any way may be deemed to be a non-confirming bid and, therefore, rejected. Bidders shall be allowed to attach descriptive literature; whose sole purpose is to amplify the bid.

#### **Due Diligence**

In the event that a health and safety offence is committed, the onus falls on the employer to prove that it exercised due diligence (i.e. did everything it reasonably could) in order to avoid the offence.

When hiring contractors, the City of Saint John is responsible for ensuring compliance with Health and Safety Legislation and must make sure that the appropriate accident prevention systems are implemented in the workplace.

Therefore, if any contractor is found to be working in an unsafe manner, or outside of current legislation, he will be made to stop work immediately. Any losses which may arise as a result of this work stoppage are the responsibility of the contractor.

Failure to comply with current legislation on the part of the contractor, may lead to cancellation of this contract and any bid deposits that may be in place.

#### Insurance

The successful contractor shall provide evidence of the following insurance coverage:

General Liability with minimum limits of two million dollars, (\$2,000,000.00). The policy shall include:

- \*operations of the contractor in connection with this tender;
- \*products and completed operations coverage;
- \*contractual liability with respect to this tender;
- \*the City of Saint John added as an additional insured;
- \*a cross liability clause;
- \*non-owned automobile;
- \*thirty (30) days notice of cancellation of this policy "will" be given to the City of Saint John, by the insurers;

Standard automobile insurance for owned automobiles with at least the minimum limits allowed by law. This coverage is to remain in effect for the entire time frame of the contract.

#### WorksafeNB Certificate and Business Corporations Act Certificate

New Brunswick Tenderers shall provide to the City a WorkSafeNB certificate which confirms proper registration and good standing with WorkSafeNB and a Business Corporations Act Certificate which confirms proper registration and good standing with the Province of New Brunswick - Corporate Affairs within five (5) Working Days following the City's notice of selection.

Out-of-province Tenderers shall provide to the City a WorkSafeNB certificate which confirms proper registration and good standing with WorkSafeNB or a letter or certificate issued under the equivalent applicable legislation in the province of origin of the Tenderer confirming extension of coverage from said legislation to the Province of New Brunswick for the term of the Contract. Subject to paragraph c), out-of-province Tenderers shall also provide a Business Corporations Act Certificate which confirms proper registration and good standing with the Province of New Brunswick - Corporate Affairs within five (5) Working Days following the City's notice of selection.

Tenderers from Nova Scotia may submit the appropriate Business Corporations Act Certificate from the Province of Nova Scotia.

#### **Reserved Rights**

The City reserves the right to:

a) Reject an unbalanced bid submission. For the purpose of this section, an unbalanced bid submission is a bid submission containing a unit price which deviates substantially from, or does not fairly represent reasonable and proper compensation for the unit of work bid or one that contains prices which appear to be so unbalanced as to adversely affect the interests of the City.

The City reserves the right to use other bids submitted in response to this bid solicitation or for other like or similar work as a guideline in determining if a bid is unbalanced.

- b) Amend or modify the scope of the Work, and/or cancel or suspend the bid award, at any time for any reason;
- c) Require bidders to provide additional information after the submission deadline to support or clarify their bid submission;
- d) Not accept any or all bids;
- e) Not accept a bid submission from a bidder who is itself, or whose principals, owners or directors are also principals, owners or directors of another entity which is, involved in litigation, arbitration or any other similar proceeding against the City;
- f) Reject any or all bid submissions without any obligation, compensation or reimbursement to any bidder or any of its team members;
- g) Withdraw this bid solicitation and cancel or suspend the bid process;
- h) Extend, from time to time, any date, any time period or deadline provided in this bid solicitation (including, without limitation, the submission deadline), upon written notice to all bidders;
- i) Assess and reject a bid submission on the basis of:
  - (i) information provided by references;
  - (ii) the bidder's past performance on previous contracts;
  - (iii) the information provided by a bidder pursuant to the City exercising its clarification rights under this bid process;
  - (iv) the bidder's experience with performing the type and scope of work specified;
  - (v) other relevant information that arises during this procurement process;
- j) Waive formalities and accept bids which substantially comply with the requirements of this bid solicitation;
- k) Verify with any bidder or with a third party any information set out in a bid submission;
- Disqualify any bidder whose bid submission contains misrepresentations or any other inaccurate or misleading information;
- m) Disqualify any bidder who has engaged in conduct prohibited by the bid solicitation;
- n) Make changes, including substantial changes, to the bid solicitation provided that those changes are issued by way of addenda in the manner set out in this bid document;
- Select any bidder other than the bidder whose bid submission reflects the lowest cost to the City;

- p) Cancel this procurement process at any stage, for any reason;
- q) Cancel this procurement process at any stage and issue a new bid solicitation for the same or similar deliverables;
- r) Accept any bid submission in whole or in part;
- s) Waive minor non-compliance with the mandatory requirements of the bid solicitation and accept the bid submission; or
- t) Accept a bid submission which contains the following errors:
  - (i) error in mathematics whether this involves the extension of a unit price or an error in addition, the mistake will be corrected and the correct total will be used for evaluation purposes and will be binding on the bidder.
  - (ii) conflict between the written and numerical bid prices. In all cases, the total bid price will be corrected to reflect the written bid price, whether lump sum or unit price (where applicable).
  - (iii) failure to include the contingency allowance in the total bid price (where applicable). If the contingency allowance was not included in the addition, the bid price shall be corrected to reflect its inclusion.

and these reserved rights are in addition to any other express rights or any other rights which may be implied in the circumstances and the City shall not be liable for any expenses, costs, losses or any direct or indirect damages incurred or suffered by any bidder or any third party resulting from the City exercising any of its express or implied rights under this bid solicitation.

By submitting a bid, the bidder authorizes the collection by the City of the information set out at paragraph i) in the manner contemplated in that subparagraph.

#### **Limitation of Liability and Waiver**

Each bidder, by submitting a bid, agrees that:

- a) Neither the City nor any of its employees, agents, advisors or representatives will be liable, under any circumstances, for any Claim arising out of this procurement process including but not limited to costs of preparation of the bid submission, loss of profits, loss of opportunity or for any other Claim; and
- b) The bidder waives any Claim for any compensation of any kind whatsoever, including Claims for cost of preparation of the bid submission, loss of profit or loss of opportunity by reason of the City's decision to not accept the bid submitted by the bidder, to award a Contract to any other bidder or to cancel this procurement process, and the bidder shall be deemed to have agreed to waive such right or Claim.

#### **Validity Period**

The bid submission constitutes an offer which shall remain open and irrevocable until 90 days after the submission deadline.

#### **Minor Irregularities**

The City of Saint John reserves the right to waive minor non-compliances in accordance with Section 120 of the Province of New Brunswick's Regulation 2014-93 under the Procurement Act.

#### **APPENDIX A – SPECIFICATIONS**

# TENDER No. 2023-085103T RETROFIT OF LIVING QUARTERS – FIRE STATION 1

# **GENERAL NOTES**

SUPERVISORS.

- . GENERAL CONTRACTOR SHALL CONSTRUCT THE WORK IN ACCORDANCE WITH NATIONAL BUILDING CODE OF CANADA CURRENT EDITION AND COMPLY WITH ALL LOCAL BUILDING CODES AND BY-LAWS AND ANY SPECIFICATIONS ISSUED BY TOSS SOLUTIONS.
- 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL CONSTRUCTION PERMITS REQUIRED BY ALL RELEVANT AUTHORITIES BEFORE COMMENCING WORK. THIS DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL ENGINEERS DRAWING AND SPECIFICATIONS, GENERAL CONTRACTOR IS TO REPORT
- ANY DISCREPANCIES OR CONFLICTS BETWEEN CONSULTANTS DRAWINGS TO TOSS SOLUTIONS FOR CLARIFICATION BEFORE COMMENCING RELATED WORK. RENOVATION SPACE WILL BE OCCUPIED DURING CONSTRUCTION, DAYTIME AND EVENING HOURS OF CONSTRUCTION ARE TO BE COORDINATED WITH BUILDING
- REGULATIONS, WHERE APPLICABLE, AND PROTECT ALL EXISTING BASE BUILDING SYSTEMS AND EQUIPMENT DURING CONSTRUCTION ACTIVITIES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS OF ANY DAMAGES TO THE BASEBUILDING CAUSED BY GENERAL CONTRACTOR AND/OR THEIR SUB-CONTRACTORS.

5. GENERAL CONTRACTOR SHALL COMPLY WITH BASE BUILDING WORK PROCEDURES AND

- S. GENERAL CONTRACTOR IS TO ENSURE ALL BUILDING MECHANICAL, ELECTRICAL AND SPRINKLER SYSTEMS WHICH ARE TO BE ALTERED CONFORM TO ENGINEER'S DRAWINGS. ALL WORK TO BE CARRIED OUT BY QUALIFIED BUILDING ENGINEERS AND
- '. SPRINKLER AND VENTILATION CONTRACTORS ARE TO ENSURE THAT FIXTURE LAYOUTS MEET ALL REGULATIONS AND CODES BY THE AUTHORITY HAVING JURISDICTION. CONTRACTORS ARE ALSO TO REVIEW SYSTEM CONTROLS AND SWITCHING FOR ALL
- NEW AND RELOCATED FITTING AND FIXTURES. B. DESIGNER TO RECEIVE MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR REVIEW PRIOR TO COMMENCEMENT OF WORK.
- GENERAL CONTRACTOR IS TO SCHEDULE AND COORDINATE THE INSTALLATION OF ALL DATA AND TELEPHONE INCLUDING OWNER SUPPLIED EQUIPMENT
- 3. GENERAL CONTRACTOR IS TO SUPPLY AND INSTALL PORTABLE FIRE EXTINGUISHERS AS REQUIRED AND IN ACCORDANCE WITH THE MECHANICAL ENGINEERS DRAWINGS. ALL MATERIALS USED SHALL BE NEW AND WITHOUT FLAWS, UNLESS NOTED
- 1.GENERAL CONTRACTOR IS TO CONFIRM ALL SIZES PRIOR TO FABRICATION OR PROCUREMENT OF MATERIALS. 2.GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL SITE MEASUREMENTS AND
- DIMENSIONS AND MUST REPORT ANY AND ALL DISCREPANCIES TO TOSS SOLUTIONS FOR INSTRUCTIONS PRIOR TO COMMENCEMENT OF WORK. 3. PRIOR TO PARTITION LAYOUT ON SITE, GENERAL CONTRACTOR IS TO CHECK FOR ANY FORESEEABLE INTERFERENCE WITH EXISTING BASEBUILDING CONDITIONS AND REPORT TO TOSS SOLUTIONS FOR INSTRUCTIONS PRIOR TO COMMENCEMENT OF
- 4.GENERAL CONTRACTOR IS TO VERIFY FLOOR SURFACES ARE LEVEL PRIOR TO COMMENCING PARTITION LAYOUT AND TO TAKE NECESSARY STEPS TO LEVEL / SKIM
- 5. ALL PARTITIONS ARE TO BE CENTERED ON LINE OF WINDOW MULLION OR SUSPENDED ACOUSTIC CEILING GRID AND TO BE ACOUSTIC-SEALED AT MULLION PERIMETER CONVECTOR UNITS AND/OR CEILING.UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOT SCREW PARTITION TRACKS INTO MULLIONS, CEILING GRID OR PERIMETER CONVECTOR UNITS. SUSPENDED CEILING CLIPS AND SOUND INSULATION TAPE SHALL
- BE USED INSTEAD. 6.GENERAL CONTRACTOR TO ADJUST EXISTING WINDOW BLINDS / SHADES TO SUIT NEW PARTITION LAYOUT OR TO CONFIRM SIZES FOR NEW PERIMETER WINDOW TREATMENTS
- TO MATCH BASE BUILDING STANDARDS. 7. ALL NEW PARTITIONS SHOWN IN LINE WITH FACE OF AN EXISTING WALL OR COLUMN SHALL BE CONSTRUCTED TO FINISH FLUSH AS ONE CONTINUOUS SURFACE, UNLESS
- NOTED OTHERWISE 8. GENERAL CONTRACTOR IS TO ENSURE ALL PENETRATIONS (IE: DUCTS, CONDUITS. SPRINKLER LINES, ETC.) IN ALL NEW PARTITIONS THAT EXTEND ABOVE FINISHED
- CEILING ARE ACOUSTICALLY SEALED. 9.GENERAL CONTRACTOR IS TO ENSURE SOUND BATT INSULATION IN PARTITIONS FILLS CAVITY BEHIND ALL POWER, DATA AND TELEPHONE OUTLETS WITHOUT
- O GENERAL CONTRACTOR IS TO ENSURE ALL PARTITION CONNECTIONS TO COLUMNS CORE, FINISHED CEILING FLOOR SLAB AND UNDERSIDE OF STRUCTURE ARE SEALED WITH ACOUSTICAL CAULKING
- 1.GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING DAMAGES TO ANY FIRE SEPARATION WITHIN CONTRACT AREA. 22.REFER TO REFLECTED CEILING PLAN FOR LOCATION OF ALL DRYWALL CEILINGS AND
- 3.GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE WALL BLOCKING / REINFORCING TO ENSURE ALL CASEWORK AND WALL-HUNG ITEMS ARE ADEQUATELY SUPPORTED WHERE REQUIRED. FOR SPANS GREATER THAN 4'-0", ADDITIONAL INTERMEDIATE SUPPORTS ARE TO BE PROVIDED
- 4.GENERAL CONTRACTOR IS TO PROVIDE ALL NECESSARY FASTENINGS, ANCHORS, BRACKETS, ACCESSORIES AND SUPPORTS AS REQUIRED FOR FABRICATION OF THE 25.ALL FITTINGS AND FIXTURES NOT IDENTIFIED ON DRAWINGS THAT REQUIRE
- TEMPORARY REMOVAL ARE TO BE STORED SAFELY AND REINSTATED AT SUCH TIME AS TO MINIMIZE FIXTURE DAMAGES. 26.ALL REUSED OR RELOCATED FIXTURES, FITTINGS AND HARDWARE TO BE CLEANED AND MADE OPERATIONAL, IF NEEDED, BEFORE BEING REINSTATED.
- 7 GENERAL CONTRACTOR IS TO ENSURE VARYING WALL THICKNESSES COORDINATE WITH DOOR FRAME THROAT SIZES. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF TOSS SOLUTIONS FOR INSTRUCTIONS PRIOR TO COMMENCEMENT OF
- 28.GENERAL CONTRACTOR IS RESPONSIBLE FOR PATCHING, REPAIRING AND MAKING GOOD, FOR SPECIFIED FINISH, ANY AND ALL SURFACES OR FINISHES DAMAGED AS A RESULT OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- 9.GENERAL CONTRACTOR IS TO SUBMIT SHOP DRAWINGS, ARCHITECTURAL MATERIAL DATA AND SAMPLES FOR THE FOLLOWING ITEMS: DOORS, FRAMES, HARDWARE, GLAZING, FLOOR FINISHES, PAINT SAMPLES, CEILING TILES, STAIR FRAMING AND ACCESSORIES, ELEVATOR CAB FINISH OPTIONS, SHAFT LIMITING DIMENSIONS, WALL FINISHES, PLUMBING FIXTURES, LIGHT FIXTURES, W/R ACCESSORIES AND ALL CASEWORK / FABRICATED ITEMS FOR DESIGNER APPROVAL PRIOR TO PROCUREMENT /
- FABRICATION. O.GENERAL CONTRACTOR IS TO SOURCE, CONFIRM AND PROVIDE SAMPLES TO THE DESIGNER FOR MATERIALS SPECIFIED TO MATCH EXISTING.
- 1.REFER TO MECHANICAL AND ELECTRICAL ENGINEER'S DRAWINGS FOR LOCATION / RELOCATION AND DETAILING OF ANY AIR TRANSFER DUCTS, DIFFUSERS, THERMOSTATS, EXHAUST FANS, EXIT LIGHTS, FIRE BELLS, PULL STATIONS, FIRE HOSE
- CABINETS AND ANY OTHER ELECTRICAL MECHANICAL ELEMENTS AS REQUIRED BY CODE AND THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. LOCATIONS ARE SUBJECT TO DESIGNER'S APPROVAL ON SITE. 6.BASE BUILDING WALLS / COLUMNS TO BE FURRED OUT TO RECEIVE ELECTRICAL BOXES WHERE SPECIFIED. GENERAL CONTRACTOR TO CO-ORDINATE BETWEEN DRYWALL
- SUB-CONTRACTOR AND ELECTRICIAN, PRIOR TO HANGING BOARD, TO ENSURE ADEQUATE BOX DEPTH AND DISTRIBUTION. 37.GENERAL CONTRACTOR IS TO ENSURE THAT ALL TRADES, ELECTRICAL, MECHANICAL, COMMUNICATIONS, ETC. HAVE COMPLETED THEIR PORTION OF WORK BEFORE BOARDING UP BOTH SIDES OF STUDS. THIS IS TO INCLUDE ALL INSPECTIONS AS
- REQUIRED BY LOCAL AND PROVINCIAL BY-LAWS AND BUILDING CODES. 8.GENERAL CONTRACTOR IS TO ENSURE THAT ALL DEMISING WALLS AND OTHER RATED ASSEMBLIES ALL HAVE FIRE LISTED DAMPER C/W PERIMETER FRAMING ANGLES, ETC. ON ANY DUCTWORK PIERCING THE SEPARATIONS, ALL PENETRATIONS MUST BE FIRESTOPPED WITH AN APPROVED MATERIAL. PROVIDE MANUFACTURER'S SHOP
- DRAWINGS FOR FIRESTOPPING OF ALL ASSEMBLIES. 9.AT THE END OF EACH WORKING DAY, ALL TRASH AND DEBRIS SHALL BE COLLECTED AND REMOVED FROM THE SITE.
- 0.UPON COMPLETION OF WORK, REMOVE ALL GARBAGE AND DEBRIS FROM THE SITE AND THOROUGHLY CLEAN ALL AFFECTED AREAS. 11.BUILDING IS TO REMAIN FUNCTIONAL DURING RENOVATION. ALL NOISY/DISRUPTIVE WORK IS TO TAKE PLACE DURING HOURS AS APPROVED BY OWNER. ALL DAYTIME /

EVENING HOURS OF CONSTRUCTION ARE TO BE COORDINATED WITH AND APPROVED

. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH NATIONAL BUILDING CODE OF

BY OWNER PRIOR TO STARTING WORK.

- CANADA CURRENT EDITION AND COMPLY WITH ALL LOCAL BUILDING CODES AND 2. GENERAL CONTRACTOR IS TO REVIEW DRAWINGS AND NOTES TO ENSURE THAT ITEMS INCLUDING, BUT NOT LIMITED TO, FURNISHINGS, FIXTURES, EQUIPMENT, DOORS, FRAME
- AND HARDWARE ARE RETAINED AS NECESSARY WHERE REQUESTED / INDICATED. THE GENERAL CONTRACTOR IS TO PATCH, REPAIR AND MAKE GOOD ALL SURFACES AFFECTED BY DEMOLITION ACTIVITIES. WHERE PARTITIONS ARE REMOVED, ADJACENT WALLS OR COLUMNS, GENERAL CONTRACTOR IS TO BE PATCH, REPAIR AND MAKE
- PRIOR TO REMOVING ANY EXISTING POWER, DATA AND TELEPHONE OUTLETS, GENERAL CONTRACTOR IS TO REVIEW LOCATIONS FOR NEW OUTLETS AND REUSE EXISTING WHERE POSSIBLE WHERE WIRING IS REMOVED GENERAL CONTRACTOR IS TO STRIP BACK TO SOURCE AND COORDINATE TERMINATION WITH ELECTRICAL CONTRACTOR. GENERAL CONTRACTOR IS TO REMOVE ALL EXISTING POWER, TELEPHONE, DATA AND OTHER OUTLETS, INCLUDING ANY FLOOR-MOUNTED OUTLETS, WHICH INTERFERE WITH NEW CONSTRUCTION, AND THOSE LOCATED IN PARTITIONS TO BE REMOVED. GENERAL

CONTRACTOR IS TO PATCH, REPAIR AND MAKE GOOD ALL WALL, FLOOR AND CEILING

- SURFACES FOR NEW SPECIFIED FINISH 3. ANY OTHER ELECTRICAL / MECHANICAL ELEMENTS UPDATED IN CEILING AREAS AFFECTED BY DEMOLITION ACTIVITIES ARE TO BE REMOVED OR RELOCATED AS REQUIRED BY CODE. NEW LOCATIONS ARE SUBJECT TO DESIGNER'S APPROVAL ON
- 7. EXISTING SUSPENDED ACOUSTIC CEILING GRIDS AND TILES MAY REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION ACTIVITIES WHERE PARTITION ALTERATIONS DO NOT OCCUR. THE GENERAL CONTRACTOR IS TO ENSURE THAT REMAINING GRID AND TILE ARE CLEANED AND MADE GOOD UPON COMPLETION OF CONSTRUCTION
- ACTIVITIES SO THAT CEILING APPEARS UNIFORM THROUGHOUT. 3. REFER TO ENGINEERING DRAWINGS FOR INFORMATION REGARDING LOCATION / RELOCATION AND DETAILING OF ANY AIR TRANSFER DUCTS, DIFFUSERS, THERMOSTATS, EXHAUST FANS, EXIT LIGHTS, FIRE BELLS, PULL STATIONS, FIRE HOSE CABINETS AND ANY OTHER ELECTRICAL / MECHANICAL ELEMENTS AS REQUIRED BY
- SUBJECT TO DESIGNER'S APPROVAL ON SITE. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO TOSS SOLUTIONS FOR INSTRUCTIONS BEFORE COMMENCEMENT OF RELATED WORK.

CODE AND THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. LOCATIONS ARE

- . DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL ENGINEER'S DRAWINGS AND SPECIFICATIONS. REFLECTED CEILING PLAN PROVIDED BY TOSS SOLUTIONS SUPERCEDES ELECTRICAL ENGINEER'S DRAWINGS FOR FIXTURE TYPES AND LOCATION. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR SWITCHING DETAILS AND ALL OTHER TECHNICAL INFORMATION.
- 2. ANY PROPOSED CHANGES AND/OR MODIFICATIONS DUE TO FIELD CONDITIONS MUST RECEIVE WRITTEN APPROVAL FROM THE DESIGNER. 3. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR LOCATION OF ALL LIFE AND
- SAFETY DEVICES 4. REMOVE EXISTING SUSPENDED CEILING GRID AND TILE WHERE NEW CEILING SYSTEM IS SHOWN. PATCH, REPAIR AND MAKE GOOD ALL WALL SURFACES AFFECTED BY
- 5. GENERAL CONTRACTOR SHALL INCLUDE FOR CUTTING OF CEILING TILES FOR ANY MECHANICAL AND/OR ELECTRICAL TRADES AS REQUIRED
- 6. DIMENSIONS ARE TAKEN FROM THE CENTER OF LIGHT FIXTURES; NEW FIXTURES TO BE INSTALLED IN THE CENTER OF ACOUSTIC TILES UNLESS NOTED OTHERWISE. . WHERE APPLICABLE, PATCH AND/OR REPLACE ANY DAMAGED T-BAR AND REPLACE ANY SOILED AND/OR DAMAGED ACOUSTIC TILES TO MATCH EXISTING BASEBUILDING
- 8. ALL SWITCHES TO BE LOCATED 47"AFF AND 8" AWAY FROM FINISHED WALL OR DOOR FRAME REVEAL, UNLESS NOTED OTHERWISE. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR ZONING OF ALL RELATED SWITCHES.
- 9. REUSE LIGHT FIXTURES, GRILLES, DIFFUSERS, SPRINKLERS, ETC. AS REQUIRED TO SUITE NEW LAYOUT. ALL EXISTING AND RELOCATED LIGHT FIXTURES TO BE CLEANED AND RELAMPED AS NEEDED TO MATCH EXISTING BASEBUILDING STANDARDS. 10.INCLUDE TO EXTEND AND/OR REPLACE EXISTING SUSPENDED ACOUSTIC TILE CEILING GRID AND TILES WHERE PARTITIONS HAVE BEEN REMOVED AND/OR CEILING IS

DAMAGED: CLEAN AND MAKE GOOD EXISTING SUSPENDED ACOUSTIC TILE CEILING

- COMPONENTS WHERE REQUIRED. 12. REPLACE ALL CEILING TILES WHERE EXISTING FIXTURES ARE BEING REMOVED. 13 ENSURE ALL SUSPENDED CEILING TILES ARE CENTERED WITHIN ROOMS AND LIGHTING IS EQUALLY SPACED IN RELATIONSHIP TO FURNISHINGS AND/OR MONUMENTS, UNLESS
- 14.RETAIN ALL FIXTURES FOR REUSE, WHERE APPLICABLE. RETURN ALL UNUSED FIXTURES TO OWNER.

## FLOOR FINISH NOTES

- 1. REMOVE EXISTING FLOORING WHERE NEW FLOORING IS SHOWN. PATCH, REPAIR AND MAKE GOOD FLOOR SURFACES AFFECTED BY DEMOLITION. 2. ALL MATERIALS FOR INSTALLATION / FINISHING AND SEALING ARE TO BE EXECUTED TO MANUFACTURER'S RECOMMENDED INSTRUCTIONS AND SPECIFICATIONS FOR THE
- APPLICATION AND INTENDED USAGE 3. ALL MATERIALS LISTED TO BE AS SPECIFIED. ALL ALTERNATIVES TO BE SUBMITTED TO DESIGNER FOR APPROVAL, NO ALTERNATE IS TO BE ACCEPTED WITHOUT WRITTEN
- APPROVAL. 4. GENERAL CONTRACTOR TO COORDINATE INSTALLATION OF ALL FLOORING AND WALL
- 5. TRANSITION BETWEEN DIFFERENT FLOOR FINISHES AT A DOOR WILL OCCUR DIRECTLY BELOW THE DOOR IN CLOSED POSITION. NEW TRANSITION STRIPS TO BE PROVIDED AS
- REQUIRED 6. GENERAL CONTRACTOR IS TO VERIFY FLOOR SURFACES ARE MADE LEVEL PRIOR TO COMMENCING FINISHING WORK AND TO TAKE NECESSARY STEPS TO LEVEL / SKIM COAT IF REQUIRED TO ENSURE FLOORING TRANSITIONS ARE LEVEL, UNLESS NOTED
- 7. FLOORING TRANSITION STRIPS ARE TO BE AS PER DRAWINGS AND SPECIFICATIONS. FLOORING CONTRACTOR TO SOURCE AND PROVIDE DEPTH OF TRANSITION TRIMS FOR
- DESIGNER APPROVAL PRIOR TO PROCUREMENT. 8. FLOORING CONTRACTOR TO CENTER TILE PATTERN WITHIN FLOOR AREA(S) AND
- ENSURE ALL BASE GROUT JOINTS ALIGN WITH FLOOR JOINTS. 9. GENERAL CONTRACTOR TO PROVIDE MANUFACTURER'S MAINTENANCE DATA FOR ALL FINISHES TO OWNER UPON PROJECT COMPLETION, UNLESS NOTED OTHERWISE.
- 10 GFNERAL CONTRACTOR IS TO PROVIDE 12"X 12" MIN. SIZE SAMPLES OF ALL SPECIFIED FINISHES FOR DESIGNER APPROVAL PRIOR TO PROCUREMENT. 11. ALL MATERIALS TO BE ORDERED IMMEDIATELY UPON AWARD OF CONTRACT TO AVOID
- 12. EXCEPT WHERE NOTED OTHERWISE, ALL WALL BASE DIRECTLY ADJACENT TO CARPET IS TO BE 4" MATCHING CARPET C/W BOUND EDGE. 13 FLOORING CONTRACTOR IS RESPONSIBLE FOR SUPPLY AND INSTALL OF ALL FLOOR FINISHES, INCLUDING PREPARATION OF BASE, EDGEBINDING, ADHESIVE, RECEIVING
- AND HOISTING OF MATERIALS, ETC. 14.INSTALL ALL WALL BASE(S) ACCORDING TO MILLWORK DETAILS AND SPECIFICATIONS. 15.NEW FLOORING IS TO BE VACUUMED AND TRAFFIC AREAS ARE TO BE PROTECTED WITH FLOORING PROTECTION. TURN OVER TO THE OWNER ANY FLOORING MATERIALS LEFT
- OVER UPON COMPLETION OF WORK. 16.FLOORING CONTRACTOR TO ESTIMATE AND ORDER SUITABLE PRODUCT OVERAGES TO ENSURE ENOUGH PRODUCT IS AVAILABLE FOR INSTALLATION ACCORDING TO MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. NOTE: ALL PRODUCT USED TO BE FROM SAME DYE LOT AND/OR PRODUCTION RUN.
- 17. GENERAL CONTRACTOR SHALL PROVIDE MAINTENANCE MATERIAL FOR ALL FLOOR FINISHES IN THE ORDER OF 10% OF TOTAL QUANTITY, UNLESS DIRECTED OTHERWISE BY OWNER. ALL MATERIAL IS TO BE TURNED OVER FOR STORAGE AT OWNER'S REQUESTED LOCATION ACCOMPANIED BY A HARD COPY OF THE INVENTORY C/W PRODUCT(S) SPECIFICATIONS, COLOURS, QUANTITIES, ETC.

- WALL FINISH NOTES 1. ALL MATERIALS FOR INSTALLATION AND FINISHING ARE TO BE EXECUTED TO MANUFACTURER'S RECOMMENDED INSTRUCTIONS AND SPECIFICATIONS FOR THE APPLICATION AND INTENDED USAGE
- DESIGNER FOR APPROVAL. NO ALTERNATE IS ACCEPTED WITHOUT WRITTEN

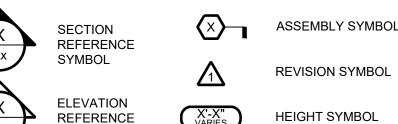
2. ALL MATERIALS LISTED TO BE AS SPECIFIED. ALL ALTERNATIVES TO BE SUBMITTED TO

- 3. ALL MATERIALS TO BE ORDERED IMMEDIATELY UPON AWARD OF CONTRACT TO AVOID DELAYS.
- 4. GENERAL CONTRACTOR TO SUBMIT 6" X 6" SAMPLES OF ALL WALLCOVERINGS FOR DESIGNER APPROVAL PRIOR TO PROCUREMENT AND INSTALLATION.
- 5. GENERAL CONTRACTOR TO SUBMIT 12"X 12" SAMPLE OF ALL WOOD AND/OR WOOD VENEERS FOR DESIGNER APPROVAL PRIOR TO PROCUREMENT OF MATERIALS. 6 ALL NEW AND EXISTING DRYWALL PARTITIONS COLUMNS BUILKHEADS ETC. ARE TO
- RECEIVE ONE BASE COAT AND TWO FINISH COATS OF PREMIUM COMMERCIAL QUALITY LATEX FINISH PAINT, COLOR AND FINISH AS SPECIFIED. NOTE DARKER COLORS MAY REQUIRE ADDITIONAL COATS FOR ADEQUATE COVERAGE. 7. ALL SURFACES OF NEW AND EXISTING DOORS AND GLAZING FRAMES TO RECEIVE PAINT
- FINISH ARE TO BE SANDED SMOOTH AND CLEAN. THE TOPS, BOTTOMS AND EDGES OF DOORS ARE TO BE FINISHED THE SAME AS BALANCE OF DOORS. ALL DOORS TO RECEIVE ONE BASE COAT AND TWO FINISH COATS OF PREMIUM COMMERCIAL QUALITY FINISH PAINT, COLOR AND FINISH AS SPECIFIED.
- 8. PRODUCT STORAGE AND HANDLING: 8.1. DELIVER ALL PAINTS, VARNISHES AND SIMILAR MATERIALS IN THE ORIGINAL CONTAINER
- 8.2. STORE ALL MATERIALS IN A SINGLE PLACE AS DESIGNATED BY THE OWNER. KEEP AREA NEAT AND CLEAN AND MAKE GOOD ANY AND ALL DAMAGE. 8.3. AT THE END OF EACH WORKING DAY, REMOVE ALL SOILED OR UNUSED RAGS, WASTE AND TRASH FROM THE BUILDING AND TAKE PRECAUTIONS TO AVOID RISK
- 9.APPLICATION 9.1 DO NOT APPLY PAINT FINISH WHERE DUST IS BEING GENERATED. 9.2 USE MATERIALS AS SPECIFIED ACCORDING TO THE MANUFACTURER'S
- SPECIFICATIONS. 9.3 DO NECESSARY PUTTYING OF NAIL HOLES, CRACKS AND OTHER DEFECTS TO NEW DRYWALL PARTITIONS, EXISTING PARTITIONS AND TRIM DESIGNATED TO RECEIVE NEW FINISH AS PER FINISHES PLAN
- 9.4 ENSURE THAT ALL DRYWALL IS FLUSH, CLEAN AND FREE FROM DUST PRIOR TO APPLICATION OF ALL WALL FINISHES. 9.5 PROTECT THE WORK AT ALL TIMES, INCLUDING ALL ADJACENT WORK AND
- WORK, REMOVE ALL PAINT SPOTS FROM THE FLOORS, GLASS AND OTHER SURFACES. 10.REFER TO DOOR AND HARDWARE SCHEDULE FOR ALL DOOR AND FRAME FINISHES AND

MATERIALS, BY SUITABLY COVERING OR OTHER METHODS. UPON COMPLETION OF

- 11. ALL NON-EMERGENCY WALL AND CEILING FITTINGS (IE. FIRE HOSE CABINET FRAMING, POWER PANEL COVER, DUMMY FACE PLATES AND ACCESS HATCHES) TO BE FINISHED WITH PAINT TO MATCH SURROUNDING PARTITION OR CEILING. 12. ALL NEW DRYWALL CEILINGS AND BULKHEADS TO BE PAINTED TO MATCH EXISTING. 13.MOLD AND MILDEW-RESISTANT PAINT TO BE USED IN ALL WASHROOMS AND JANITOR'S
- 14.PLYWOOD BACK PANELS IN TELECOM AND SERVER ROOMS TO BE PAINTED WITH FIRE-RESISTANT PAINT
- 15.UPON COMPLETION OF ALL FLOORING AND MILLWORK INSTALLATION, WALL FINISH CONTRACTORS ARE RESPONSIBLE FOR ALL TOUCH UPS REQUIRED AS A RESULT OF NORMAL INSTALLATION METHODS AS COORDINATED BY THE GENERAL CONTRACTOR. 16 GENERAL CONTRACTOR SHALL PROVIDE MAINTENANCE MATERIAL FOR ALL
- WALLCOVERINGS IN THE ORDER OF 10% OF TOTAL QUANTITY UNLESS DIRECTED. OTHERWISE BY OWNER, ALL MATERIAL IS TO BE TURNED OVER FOR STORAGE AT OWNER'S REQUESTED LOCATION ACCOMPANIED BY A HARD COPY OF THE INVENTORY
- C/W PRODUCT(S) SPECIFICATIONS, COLOURS, QUANTITIES, ETC. 17. ALL NEW DRYWALL IS TO BE TAPED, FILLED, SANDED SMOOTH, PRIMED & MADE READY FOR NEW SPECIFIED FINISHES. ALL GYPSUM BOARD WALLS, NEW AND EXISTING, ARE TO MEET A LEVEL 4 FINISH UNLESS NOTED OTHERWISE.

# **GENERAL LEGEND**



SYMBOL REFERENCE SYMBOL

SIZE &

TYPE

PLAN SPECIFIC

NOTE SYMBOL

DETAIL SYMBOL

X'-X" x X'-X"

D101A

W1

ROOM NAME. NUMBER \_\_\_\_ SQUARE FOOTAGE

ASSEMBLY 90 MIN. FIRE RATED **ASSEMBLY** 45 MIN. FIRE RATED \_\_\_\_\_\_ ASSEMBL\ DOOR & WINDOW

(E) EXISTING

CONSTRUCTED - - - (RL) RELOCATED OR REMOVED

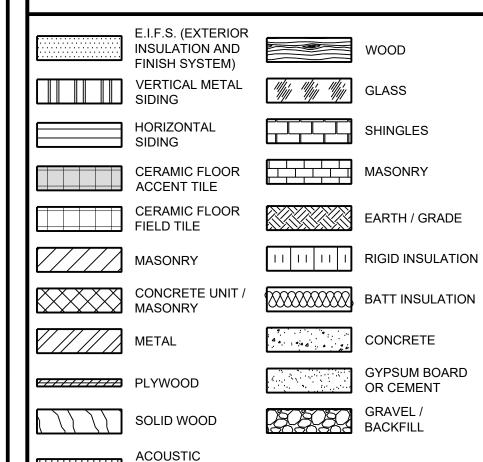
LIMITS OF CONTRACT

2 HR. FIRE RATED

1 HR. FIRE RATED

ASSEMBLY

# MATERIALS LEGEND



# **ABBREVIATIONS**

METAL

JOINT

K.P. KICK PLATE

NBCC NATIONAL BUILDING CODE

OF CANADA

P.B. PUSH BUTTON

PT. PAINT

PED. PEDESTAL

SUSP. SUSPENDED

GLASS

STAIN

U.N.O. UNLESS NOTED

OTHERWISE

SQ. SQUARE

O.H.D. OVER HEADED DOOR

RB. RUBBER / RUBBER BASE

S.V.F. SHEET VINYL FLOORING

S.G. SAFETY / LAMINATED

S.C.W. SOLID CORE WOOD

S.L.F. SHEET LINOLEUM

FLOORING

A.F.F. ABOVE FINISHED FLOOR I.H.M. INSULATED HOLLOW A.C.T. ACOUSTIC CEILING TILE ALU. ALUMINUM BLDG. BUILDING BLK. BLOCK BULK. BULKHEAD C.K. CAULK C.J. CONTROL JOINT

MATERIAL

- C.R. CARD READER C.T. CARPET TILE CPT. CARPET
- E.P. ELECTRICAL PANEL EX. EXISTING EXIST. EXISTING EXP. EXPOSED EX. EXTERIOR
- F.O.U. FACE OF FINISH F.G. FLOAT GLASS F.E. FIRE EXTINGUISHER FL. FLOOR (ING)
- G.C. GENERAL CONTRACTOR T.G. TEMPERED GLASS G.B. GRAB BAR GL. INSULATED GLASS GYP. GYPSUM BOARD H.WD. HARD WOOD HDW. HARDWARE H.M. HOLLOW METAL
- V.B. VINYL BASE V.C.T. VINYL COMPOSITE TILE V.W.C. VINYL WALL COVERING W.B. WOOD BASE H.M.F. HOLLOW METAL FRAME W.C. WATER CLOSET HT. HEIGHT W.G. WIRED GLASS INT. INTERIOR WD. WOOD

# - SHOWER 203A WASHROOM 208 -— LOCKERS 205 — DORMITORY 203 WASHROOM 210 -APPARATUS BAY (BELOW)

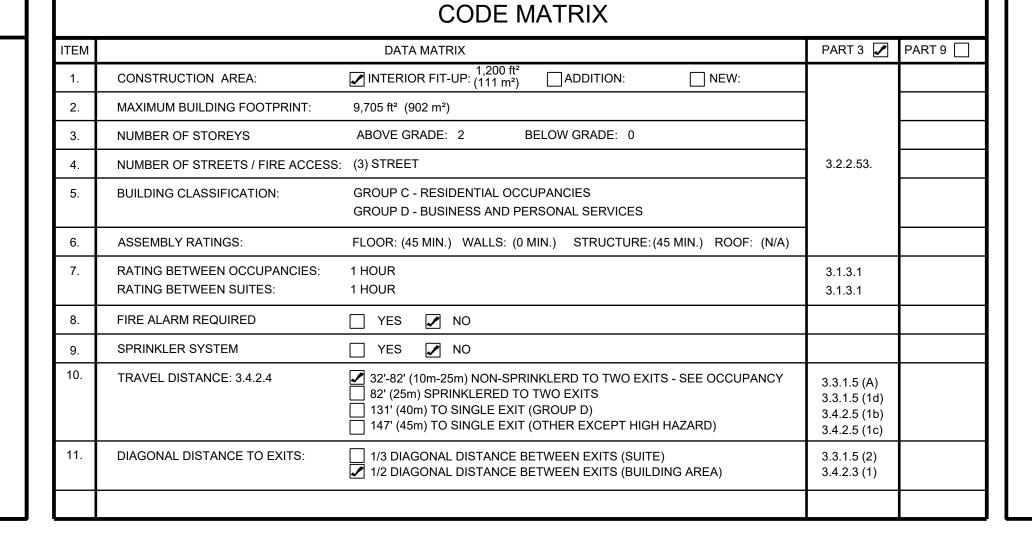
**CAMARTHEN STREET** 

**KEY PLAN** 

WASHROOM 204 & SHOWER 204A

SITE PLAN LOCATION

# **LEGEND**



# PARTITION ASSEMBLIES

1. ALL PARTITIONS TO BE P1 UNLESS OTHERWISE NOTED. PROVIDE A DEFLECTION CHANNEL AT ALL PARTITIONS EXTENDING TO THE UNDERSIDE OF METAL DECKING OR STRUCTURE. PACK DEFLECTION JOINT WITH MINERAL WOOL AT RATED PARTITIONS.

FOR ACOUSTIC PARTITIONS; PROVIDE A CONTINUOUS ACOUSTIC SEALANT ALONG THE TOP & BASE, ON BOTH SIDES OF PARTITION. ACOUSTICALLY SEAL ALL PENETRATIONS. PROVIDE RESILIENT GASKET BETWEEN DECK/FLOOR & TRACK FOR RATED PARTITIONS: PROVIDE A CONTINUOUS FIRE RATED SEALANT ALONG THE TOP & BASE, ON BOTH SIDES OF PARTITION. PROVIDE RESILIENT GASKET BETWEEN

DECK/FLOOR & TRACK. PROVIDE AN APPROVED FIRE STOP

SYSTEM TO SEAL ALL PENETRATIONS. USE MOISTURE RESISTANT GYPSUM BOARD AT ALL WASHROOMS & SHOWER ROOMS.

5/8" TYPE "X" GYPSUM BOARD\* - 3 5/8" METAL STUDS @ 16" O.C. ACOUSTIC BATT INSUL. TO FILL CAVITY 5/8" TYPE "X" GYPSUM BOARD\* \* 1/2" GAP CAULKED TOP & BOTTOM PARTTION TO U/S OF CEILING 5/8" TYPE "X" GYPSUM BOARD\*

- 3 5/8" METAL STUDS @ 16" O.C. ACOUSTIC BATT INSUL. TO FILL CAVITY 5/8" TYPE "X" GYPSUM BOARD\* \* 1/2" GAP CAULKED TOP & BOTTOM PARTTION TO U/S OF CEILING 5/8" TYPE "X" GYPSUM BOARD\* - 2 1/2" METAL STUDS @ 16" O.C.

ACOUSTIC BATT INSUL. TO FILL CAVITY

5/8" TYPE "X" GYPSUM BOARD\*

\* 1/2" GAP CAULKED TOP & BOTTOM

PARTITION, UP TO 60" A.F.F 5/8" TYPE "X" GYPSUM BOARD\* 3 5/8" METAL STUDS @ 16" O.C. 5/8" TYPE "X" GYPSUM BOARD\* WOOD BLOCKING AS REQUIRED. 1/2" REVEAL, Z SHADOW BEAD 3/4" WOOD TRIM, STAIN GRADE

INTERIOR DESIGN : COMMERCIAL LIVING: WORKPLACE STRATEGY **BUILDINGS**: PROJECT MANAGEMEN

## CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# CONSULTANTS:

INTERIOR DESIGN: MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST:

## DRAWING LIST:

LANDSCAPE ARCHITECT:

ID0.0 GENERAL LEGENDS & KEY PLAN ID1.0 DEMOLITION PLAN & FLOOR PLAN

ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW ID3.0 FINISHES PLAN & SCHEDULE ID4.0 INTERIOR ELEVATIONS

E3.0 ELECTRICAL SPECIFICATIONS

ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES ID7.0 INTERIOR SPECIFICATIONS

M1.0 PLUMBING

M2.0 VENTILATION M3.0 SPECIFICATIONS

> E1.0 DEMOLITION AND NEW POWER & COMMUNICATION E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT

# SUBMISSIONS: Approved By: Approved By: Approved By: Approved By: Approved By: ISSUED FOR TENDER JUI Y 14. 2023 Drawn By: MC Approved By: BB

ODUCED IN ANY FORMAT. WHETHER PRINT OR ELECTRONIC. WITHOUT THE EXPRES

# PROFESSIONAL SEAL:

|REV.| DATE |ISSUE



# **PROJECT NAME:**

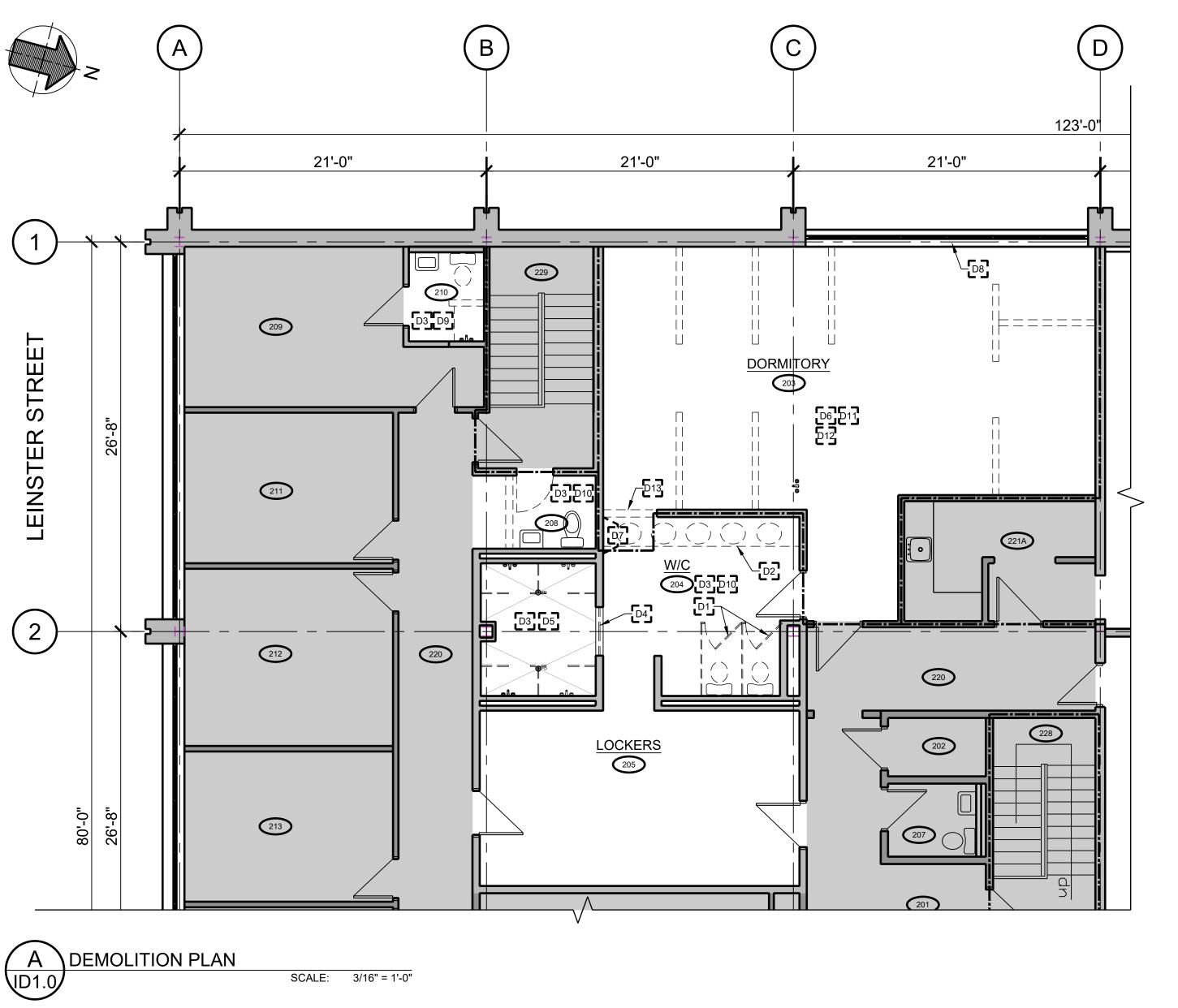
LIVING QUARTERS FIRE STATION NO.

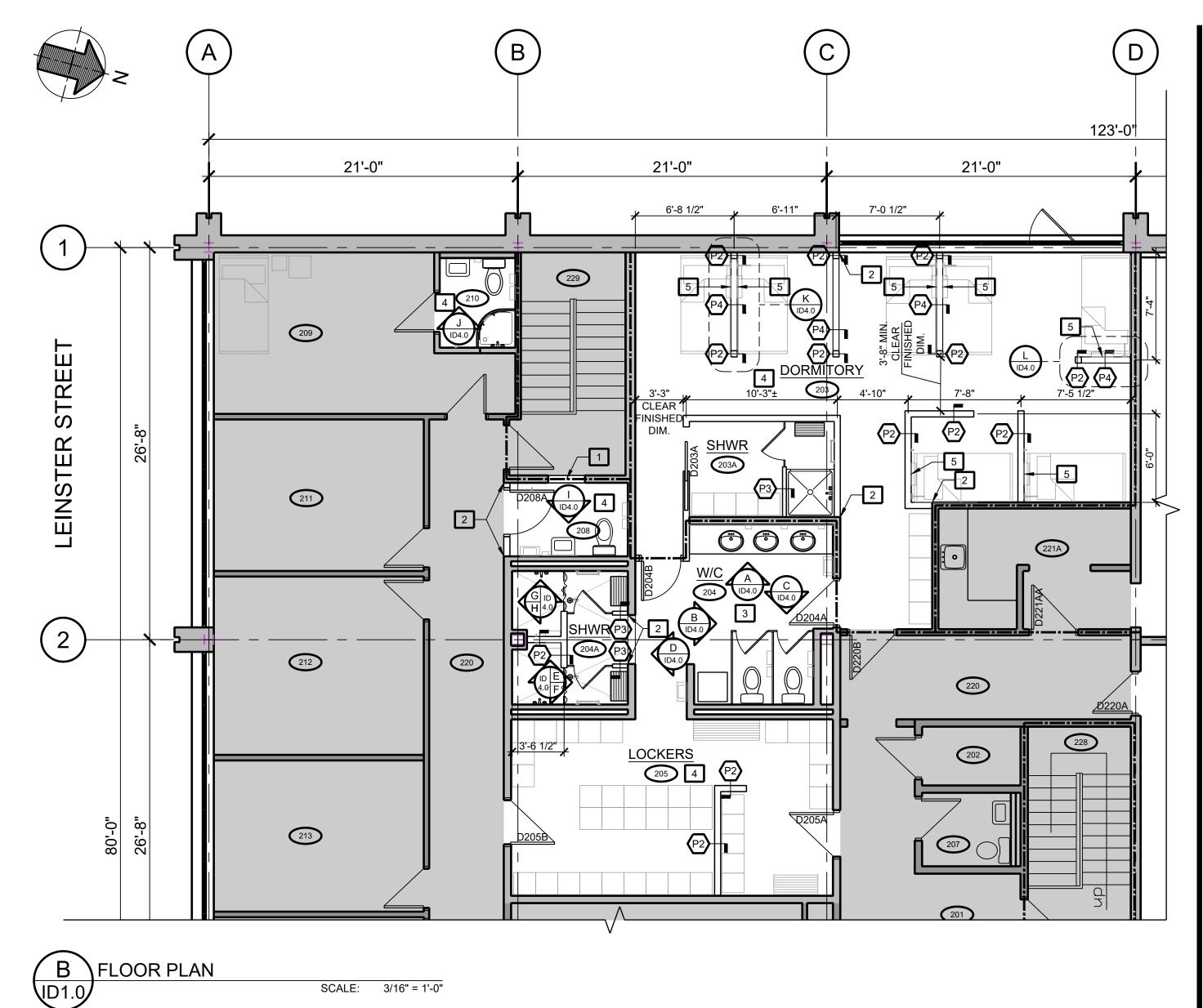
45 LEINSTER STREET SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

**GENERAL LEGENDS & KEY PLANS** 

| <b>PROJECT NO</b> : 22-09 (509) | JUNE 2023   |  |  |
|---------------------------------|-------------|--|--|
| DWG. SCALE:                     | PLOT SCALE: |  |  |





FLOOR PLAN LEGEND

LIMITS OF CONTRACT

EXISTING NEW OR CONSTRUCTED RELOCATED OR REMOVED

\_\_\_\_\_

ОРВ

2 HR. FIRE RATED ASSEMBLY 1 HR. FIRE RATED ASSEMBLY \_\_\_\_ 90 MIN. FIRE RATED ASSEMBLY

45 MIN. FIRE RATED ASSEMBLY -----ELECTRICAL PANEL

FIRE EXTINGUISHER (SEMI-RECESSED 10 lbs ABC)

DOOR OPERATOR PUSH BUTTON

PROXIMITY CARD READER

THERMOSTAT FLOOR DRAIN

FLOOR CLEANOUT

**DEMOLITION NOTES** 

NOTES

D1 REMOVE METAL TOILET PARTITIONS.

REMOVE LAMINATE COUNTERTOP & BACKSPLASH; REFER TO MECHANICAL FOR REMOVAL &/OR REUSE OF SINKS & FAUCETS, AS REQUIRED.

ALL WASHROOM ACCESSORIES TO BE REMOVED FROM WALLS &/OR TOILET PARTITIONS. REFER TO ID5.0 FOR SCHEDULE INDICATING REUSE &/OR NEW WASHROOM ACCESSORIES, LOCATIONS & MOUNTING HEIGHTS.

REMOVE ACRYLIC DOOR SYSTEM, INCLUDING STAINLESS STEEL CHANNEL FRAME.

REMOVE LAMINATE TOILET PARTITIONS.

REMOVE PARTIAL HEIGHT PARTITIONS.

REMOVE WALL TILE AT NEW DORMITORY 203 LAYOUT; MAKE GOOD FOR SPECIFIED FINISH.

INTERIOR ROLLER SHADE TO BE REMOVED & STORED FOR REUSE. CLEAN USING MANUFACTURER APPROVED SOLUTION PRIOR TO RE-INSTALLATION. CONFIRM ROLLER SHADES ARE OPERATIONAL, REPLACE DAMAGED OR MISSING PARTS & COMPONENTS; AS REQUIRED.

REMOVE EXISTING FLOOR TILE & WALL BASE TILE; MAKE GOOD FOR NEW SPECIFIED FINISH.

REMOVE EXISTING COVE BASE TILE; MAKE GOOD FOR NEW SPECIFIED FINISH.

REMOVE EXISTING RESILIENT FLOORING & RUBBER WALL BASE, REMOVE ALL TRACE & RESIDUAL ADHESIVE FROM PRIOR INSTALLATION; MAKE GOOD FOR NEW SPECIFIED

REMOVE EXISTING COAT HOOKS; SALVAGE FOR REUSE. SEE INTERIOR ELEVATIONS FOR NEW LOCATIONS.

REMOVE CONCRETE MASONRY BLOCK TO U/S OF DECK TO ACCOMMODATE NEW OPENING, ALLOW NEW SPECIFIED PARTITION TO CONTINUE PAST EDGE OF REMAINING CONCRETE MASONRY BLOCK.

# FLOOR PLAN NOTES

<u>NOTES</u>

1. RELOCATION & STORAGE OF LOCKERS, BEDS, ANCILLARY FURNITURE & ACCESSORIES TO BE COMPLETED BY CITY OF SAINT JOHN PRIOR TO COMMENCEMENT OF CONSTRUCTION

ACTIVITIES ON SITE; COORDINATE WITH G.C. SCHEDULE. 2. PATCH, REPAIR & MAKE GOOD, FOR NEW SPECIFIED FINISH ANY & ALL EXISTING ADJACENT SURFACES AFFECTED BY, OR DAMAGED AS A RESULT OF DEMOLITION &/OR CONSTRUCTION

INFILL TO BE SIMILAR TO PARTITION ASSEMBLY TYPE P1, USING METAL STUDS OF APPROPRIATE SIZE TO MATCH DEPTH OF EXISTING CONCRETE MASONRY PARTITION IN WHICH IT IS LOCATED. FIRE SEPARATION TO BE MAINTAINED.

WHERE NEW PARTITION MEETS EXISTING ASSEMBLY, ENSURE FLUSH, CONTINOUS SURFACE.

ALL SERVICES, SWITCHES, ETC. TO BE BROUGHT FORWARD TO NEW FINISHED SURFACE.

WHERE SURFACE MOUNTED SERVICES (SURFACE MOUNT CONDUIT, SWITCHES, ACCESSORIES, ETC.) HAVE BEEN REMOVED, SURFACE TO BE PATCHED, & MADE GOOD FOR SPECIFIED FINISH.

PROVIDE BLOCKING FOR SHELVES, & SURFACE MOUNT READING LAMPS, REFER TO INTERIOR ELEVATIONS.

# PARTITION ASSEMBLIES

1. ALL PARTITIONS TO BE P1 UNLESS OTHERWISE NOTED. PROVIDE A DEFLECTION CHANNEL AT ALL PARTITIONS EXTENDING TO THE UNDERSIDE OF METAL DECKING OR STRUCTURE. PACK DEFLECTION JOINT WITH MINERAL WOOL AT

FOR ACOUSTIC PARTITIONS; PROVIDE A CONTINUOUS ACOUSTIC SEALANT ALONG THE TOP & BASE, ON BOTH SIDES OF PARTITION. ACOUSTICALLY SEAL ALL PENETRATIONS. PROVIDE RESILIENT GASKET BETWEEN DECK/FLOOR & TRACK. FOR RATED PARTITIONS; PROVIDE A CONTINUOUS FIRE RATED SEALANT ALONG THE TOP & BASE, ON BOTH SIDES OF PARTITION. PROVIDE RESILIENT GASKET BETWEEN

DECK/FLOOR & TRACK. PROVIDE AN APPROVED FIRE STOP

SYSTEM TO SEAL ALL PENETRATIONS. USE MOISTURE RESISTANT GYPSUM BOARD AT ALL

WASHROOMS & SHOWER ROOMS. PARTITION TO U/S OF DECK - 5/8" TYPE "X" GYPSUM BOARD\* - 3 5/8" METAL STUDS @ 16" O.C. - ACOUSTIC BATT INSUL. TO FILL CAVITY - 5/8" TYPE "X" GYPSUM BOARD\* \* 1/2" GAP CAULKED TOP & BOTTOM PARTTION TO U/S OF CEILING

- 5/8" TYPE "X" GYPSUM BOARD\* - 3 5/8" METAL STUDS @ 16" O.C. 5/8" TYPE "X" GYPSUM BOARD\* \* 1/2" GAP CAULKED TOP & BOTTOM

PARTTION TO U/S OF CEILING - 5/8" TYPE "X" GYPSUM BOARD\* - 2 1/2" METAL STUDS @ 16" O.C. - 5/8" TYPE "X" GYPSUM BOARD\* \* 1/2" GAP CAULKED TOP & BOTTOM

PARTITION, UP TO 60" A.F.F - 5/8" TYPE "X" GYPSUM BOARD\* - 3 5/8" METAL STUDS @ 16" O.C. - 5/8" TYPE "X" GYPSUM BOARD\* WOOD BLOCKING AS REQUIRED, 1/2" REVEAL, Z SHADOW BEAD - 3/4" WOOD TRIM, STAIN GRADE

RATED PARTITIONS.

- ACOUSTIC BATT INSUL. TO FILL CAVITY - ACOUSTIC BATT INSUL. TO FILL CAVITY

PROJECT NO 22-09 (509) JUNE 2023 PLOT SCALE: DWG. SCALE: AS SHOWN

INTERIOR DESIGN : COMMERCIAL

LIVING: WORKPLACE STRATEGY **BUILDINGS** : PROJECT MANAGEMENT

MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING

CITY OF SAINT JOHN

15 MARKET SQUARE

CONSULTANTS:

CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT

DRAWING LIST:

MECHANICAL M1.0 PLUMBING

M2.0 VENTILATION M3.0 SPECIFICATIONS

SUBMISSIONS:

JULY 14,

REV. DATE ISSUE

PROFESSIONAL SEAL:

PROJECT NAME:

DRAWING TITLE:

LIVING QUARTERS

FIRE STATION NO. 1

45 LEINSTER STREET

FLOOR PLAN

SAINT JOHN, NB, E2L 1H9

**DEMOLITION PLAN &** 

ARCHITECT: INTERIOR DESIGN:

SAINT JOHN, NB, E2L 4L1

STRUCTURAL ENGINEERING:

ID0.0 GENERAL LEGENDS & KEY PLAN

ID1.0 DEMOLITION PLAN & FLOOR PLAN

ID3.0 FINISHES PLAN & SCHEDULE ID4.0 INTERIOR ELEVATIONS

ID7.0 INTERIOR SPECIFICATIONS

ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW

E1.0 DEMOLITION AND NEW POWER & COMMUNICATION

Approved By:

Approved By:

Approved By:

Approved By:

ISSUED FOR TENDER

Drawn By: MC Approved By: BB

EPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS,

REGISTRATION #R 1801

JENNIFER GREENE

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT

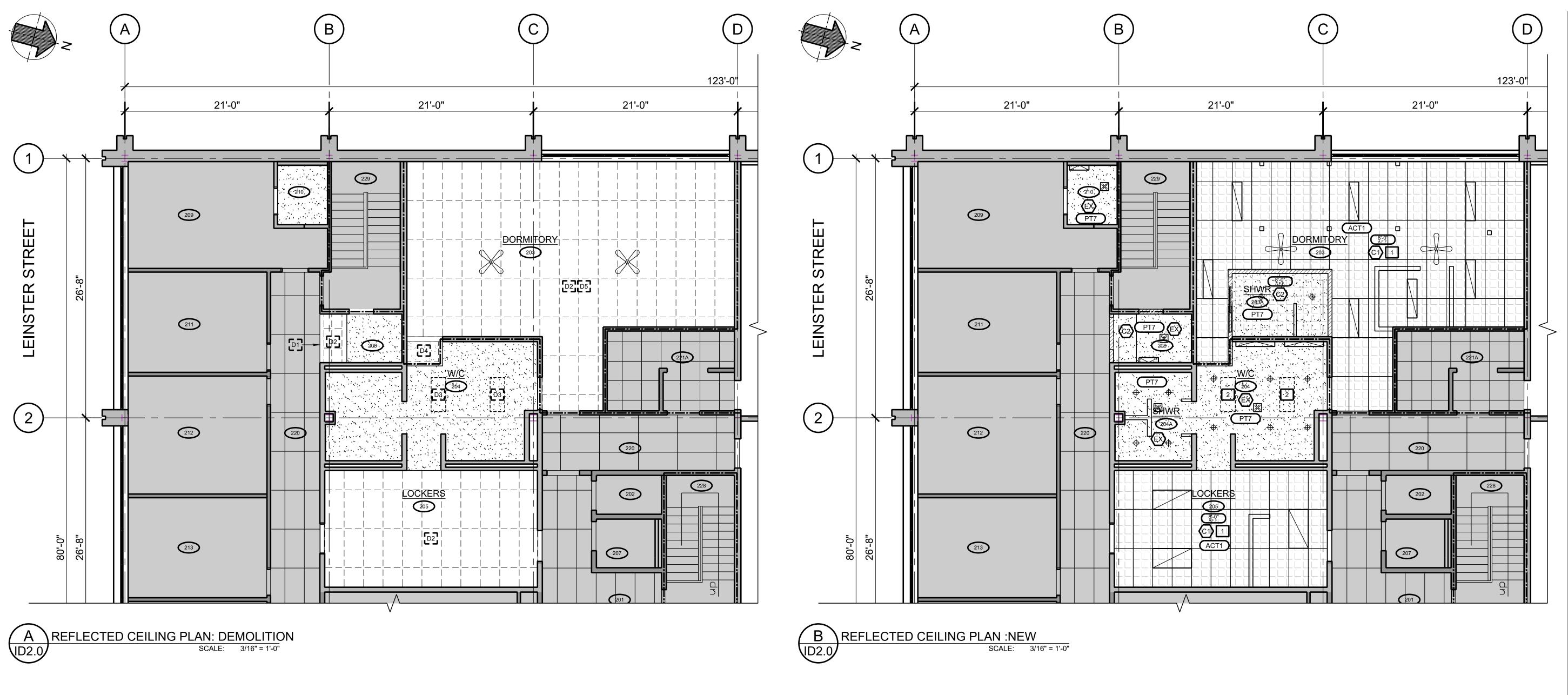
E3.0 ELECTRICAL SPECIFICATIONS

ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

CLIENT:

DWG. NO:





NEW GYPSUM BOARD BULKHEAD/CEILING (SEE REFLECTED CEILING PLAN) NEW INTERIOR PARTITIONS PENETRATING CEILING (SEE REFLECTED CEILING PLAN) CEILING HEIGHT ABOVE FINISHED FLOOR SUSPENDED ACOUSTIC CEILING GRID SPRAY APPLIED RIGID POLYURETHANE FOAM INSULALTION, APPROXIMATE AREA. 12" X 48" LED LIGHT FIXTURE (SEE ELECTRICAL) 24" X 48" RECESSED LED LIGHT FIXTURE (SEE ELECTRICAL) RECESSED DOWN LIGHT (SEE ELECTRICAL) SURFACE MOUNT VANITY LIGHTING (SEE ELECTRICAL) READING LAMP (SEE ELECTRICAL) CEILING FAN (SEE ELECTRICAL) EXTRACTION FAN (SEE MECHANICAL)

REFLECTED CEILING LEGEND

# CEILING DEMOLITION NOTES

1. SEE FINISH LEGEND FOR CEILING FINISHES.

2. ALL SUSPENSION CEILING TILES ARE CENTERED WITHIN

GYPSUM BOARD BULKHEAD TO BE DEMOLISHED. PROVIDE NEW PERIMETER TRIM AT CORRIDOR, AS REQUIRED.

D2 EXISTING CEILING TILE & GRID TO BE REMOVED.

EXISTING RADIANT HEATER TO BE REMOVED. REFER TO ELECTRICAL.

EXISTING GYPSUM BOARD CEILING TO BE REMOVED TO EXTENT OF NEW PARTITION. FIRE SEPARATION TO BE

EXISTING CEILING MOUNTED FANS TO BE RELOCATED. REFER TO ELECTRICAL.

# REFLECTED CEILING NOTES

1. SEE FINISH LEGEND FOR CEILING FINISHES.

2. ALL SUSPENSION CEILING TILES ARE CENTERED WITHIN

3. PATCH, REPAIR & MAKE GOOD, FOR NEW SPECIFIED FINISH ANY & ALL EXISTING ADJACENT SURFACES AFFECTED BY, OR DAMAGED AS A RESULT OF DEMOLITION &/OR CONSTRUCTION

HATCHED AREA REPRESENTS AREAS TO RECEIVE NEW SPRAY-APPLIED RIGID POLYURETHANE FOAM INSULATION, MEDIUM DENSITY.

CEILING TO BE PATCHED, REPAIRED & MADE GOOD WHERE RADIANT HEATER PANELS ARE REMOVED. ENSURE, FLUSH CONTINUOUS SURFACE.

# **CEILING ASSEMBLIES**

1. ALL CEILINGS TO BE C1 UNLESS OTHERWISE NOTED.

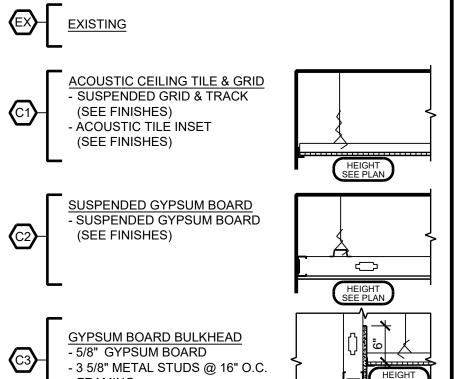
2. ALL MOUNTING POINTS ARE TO BE WITHIN SUBSTRATES TO SUPPORT MATERIAL LOADS.

ALL TILE PATTERNS ARE TO BE CENTERED WITHIN ROOMS AND

EQUAL ON ALL SIDES, UNLESS OTHERWISE NOTED. ALL CEILING MATERIALS ARE TO COMPLY WITH MINIMUM FIRE SPREAD RATINGS:

>75 FLAME SPREAD IN NON SPRINKLERED BUILDINGS >150 FLAME SPREAD IN SPRINKLERED BUILDINGS

HOLD DOWN CLIPS ARE TO BE PROVIDED AS PART OF ANY SUSPENDED CEILING SYSTEM WITHIN VESTIBULES OR ENTRIES.



FRAMING

## CONSULTANTS: ARCHITECT:

SAINT JOHN, NB, E2L 4L1

15 MARKET SQUARE

CITY OF SAINT JOHN

INTERIOR DESIGN: MECHANICAL ENGINEERING: FUNDY ENGINEERING **ELECTRICAL ENGINEERING: FUNDY ENGINEERING** STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

INTERIOR DESIGN : COMMERCIAL

LIVING : WORKPLACE STRATEGY BUILDINGS : PROJECT MANAGEMENT

#### DRAWING LIST:

CLIENT:

ID0.0 GENERAL LEGENDS & KEY PLAN

ID1.0 DEMOLITION PLAN & FLOOR PLAN ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW ID3.0 FINISHES PLAN & SCHEDULE

ID4.0 INTERIOR ELEVATIONS ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE

ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES ID7.0 INTERIOR SPECIFICATIONS

MECHANICAL M1.0 PLUMBING

M2.0 VENTILATION M3.0 SPECIFICATIONS

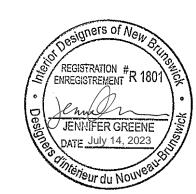
ELECTRICAL
E1.0 DEMOLITION AND NEW POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT E3.0 ELECTRICAL SPECIFICATIONS

| REV. | DATE     | ISSUE      |          |              |    |
|------|----------|------------|----------|--------------|----|
| U    | 2023     | Drawn By:  | MC       | Approved By: | ВВ |
| 0    | JULY 14, |            | ISSUED I | FOR TENDER   |    |
|      |          | Drawn By:  |          | Approved By: |    |
|      |          |            |          | ,            |    |
|      |          | Drawn By:  |          | Approved By: |    |
|      |          | Diawii By. |          | прриочен Бу. |    |
|      |          | Drawn By:  |          | Approved By: |    |
|      |          | Drawn By:  |          | Approved By: |    |
|      |          |            |          |              |    |
|      |          | Drawn By:  |          | Approved By: |    |
|      |          |            |          |              |    |

HE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTIONS HIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR EPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS,

# **PROFESSIONAL SEAL:**



PROJECT NAME: LIVING QUARTERS

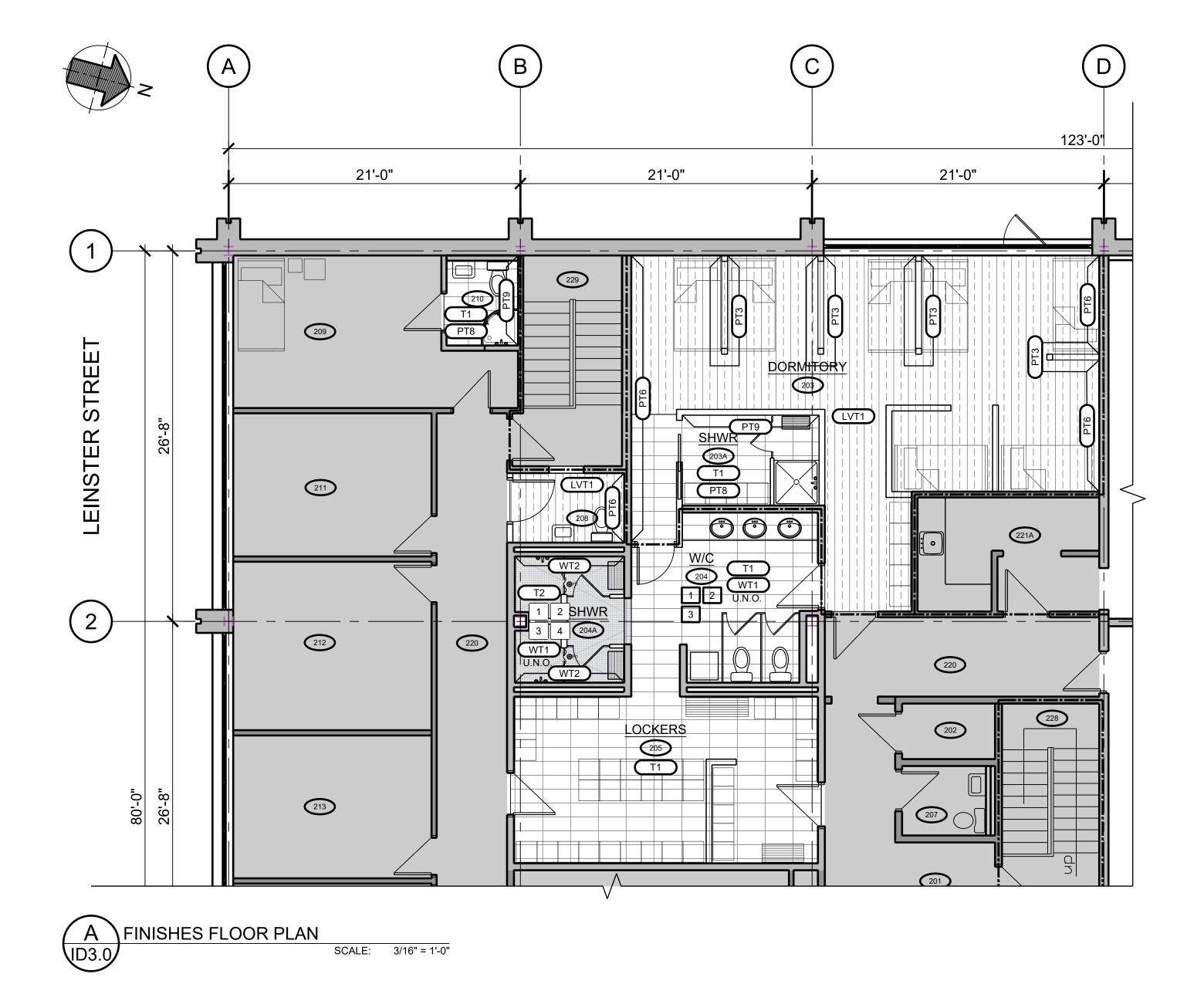
FIRE STATION NO. 1 45 LEINSTER STREET

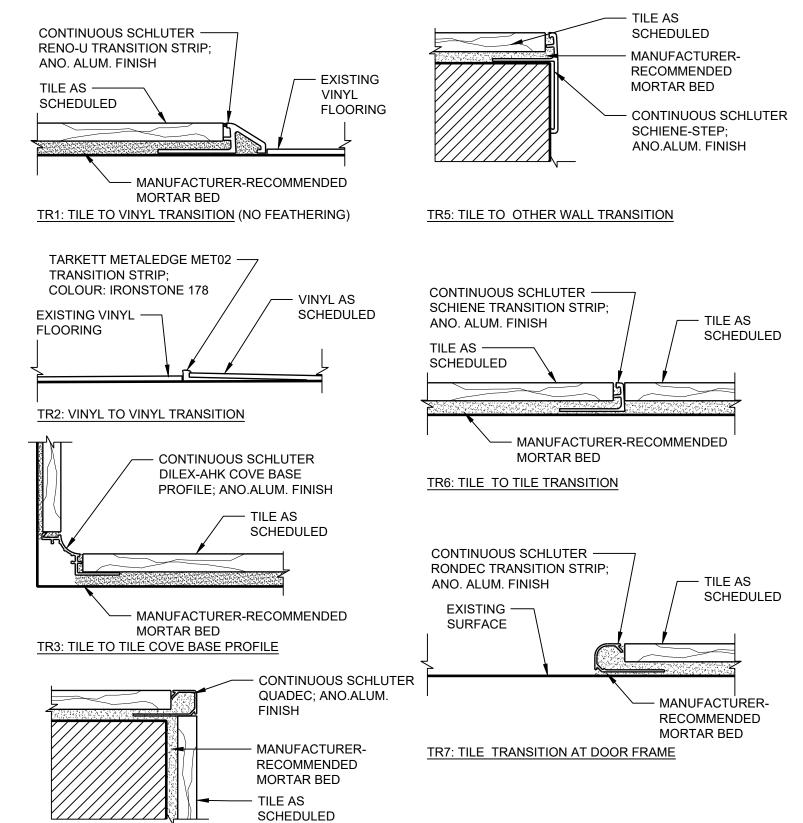
SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

REFLECTED CEILING PLAN: **DEMOLITION & NEW** 

| PROJECT NO: | DATE:       |  |
|-------------|-------------|--|
| 22-09 (509) | JUNE 2023   |  |
| DWG. SCALE: | PLOT SCALE: |  |
| AS SHOWN    | 11:1        |  |





TR4: TILE TO TILE OUTSIDE CORNER PROTECTION

# FINISHES PLAN LEGEND EXTENT OF FINISH (STOPS AND STARTS) FINISH TRANSITION (SEE NOTES ABOVE FOR MATERIALS) T1 - TILE FLOORING T2 - MOSAIC TILE FLOORING LVT1 - RESILIENT FLOORING

# FINISHES PLAN NOTES

| NOTES |  |
|-------|--|
|-------|--|

- 1. WALL FINISH TO BE PAINT TYPE PT1 UNLESS NOTED
- 2. INSTALLATION DIRECTION OF LINEAR FLOOR PRODUCT AS INDICATED ON FINISHES PLAN.
- WALL SURFACES TO BE PATCHED & REPAIRED, AS REQUIRED TO ENSURE A LEVEL SURFACE FOR INSTALLATION OF NEW SPECIFIED WALL TILE, INCLUDING WHERE EXISTING WALL TILE IS MISSING &/OR DAMAGED. PREPARE ALL EXISTING WALL TILE TO REMAIN USING MULTIPURPOSE BOND-PROMOTING PRIMER M2.
- APPLY WATERPROOFING MEMBRANE, M1 OVER EXISTING WALL TILES TO PREPARE SURFACE FOR NEW SPECIFIED
- FLOOR SURFACED TO BE PATCHED & REPAIRED, AS REQUIRED TO ENSURE A LEVEL SURFACE FOR INSTALLATION OF NEW SPECIFIED FLOOR TILE, INCLUDING WHERE EXISTING WALL TILE IS MISSING &/OR DAMAGED. PREPARE ALL EXISTING FLOOR TILE TO REMAIN USING MULTIPURPOSE BOND-PROMOTING PRIMER M2.
- APPLY WATERPROOFING MEMBRANE, M1 OVER EXISTING FLOOR TILE TO PREPARE SURFACE FOR NEW SPECIFIED FLOOR TILE. MAINTAIN SLOPE TO DRAINAGE.

|                |  |  | FINISH SCHEDUL   | <b></b>  |   |
|----------------|--|--|--|--|---|
| ACOUS          | TIC CEILING TILES  |  |  |  |   |
| CODE:          | DESCRIPTION:  ACOUSTIC CEILING TILE USG RADAR            | VENDOR/MFR:<br>USG-CGC CEILING<br>SOLUTIONS    | STYLE/FINISH/COLOUR:  STYLE #: 2310 EDGE TYPE: SQUARE EDGE COLOUR: WHITE SIZE: 24" X 48"                   | LOCATION: FIELD (SEE RCP)  | REMARKS / NOTES:  GRID: USG DONN DX/DXL, FLAT WHITE                 |
| PAINT          | Г  | T  | T  | T  | T   |
| CODE:          | DESCRIPTION:   | VENDOR/MFR:                                    | STYLE/FINISH/COLOUR:   | LOCATION:<br>(WALL APPLICATION U.N.O.)   | REMARKS / NOTES:  |
| PT1            | PAINT<br>FINISH: EGGSHELL                                | BENJAMIN MOORE,<br>ULTRA SPEC 500              | CC-40, CLOUD WHITE   | FIELD  |   |
| PT2            | PAINT<br>FINISH: SEMI-GLOSS                              | BENJAMIN MOORE,<br>ULTRA SPEC 500              | CC-40, CLOUD WHITE   | DOORS & FRAMES : D205A,<br>D205B, D208A  |   |
| PT3            | PAINT  | BENJAMIN MOORE,                                | AF-690, METROPOLITAN   | ACCENT   |   |
| PT4            | FINISH: EGGSHELL  PAINT FINISH: SEMI-GLOSS               | ULTRA SPEC 500  BENJAMIN MOORE, ULTRA SPEC 500 | AF-690, METROPOLITAN   | DOORS & FRAMES: D203A,<br>D204A, D204B, D220A, D221AA;<br>FRAME: D220B   |   |
| PT5            | PAINT  | BENJAMIN MOORE,                                | CC-40, CLOUD WHITE   | DRYWALL CEILINGS &   |   |
| PT6            | FINISH: FLAT PAINT                                       | ULTRA SPEC 500 BENJAMIN MOORE,                 | CW-590, WILLIAMSBURG WYTHE   | BULKHEADS<br>ACCENT  |   |
| PT7            | FINISH: EGGSHELL PAINT                                   | ULTRA SPEC 500 BENJAMIN MOORE,                 | BLUE CC-40, CLOUD WHITE  | DRYWALL CEILINGS: SHOWER   |   |
| PT8            | FINISH: MATTE  PAINT                                     | AURA BATH & SPA  BENJAMIN MOORE,               | CC-40, CLOUD WHITE   | 203A & 204A; WASHROOM 204,<br>208, 210<br>FIELD AT SHOWER 203A & 210   |   |
|                | FINISH: SATIN  | AURA   |  |  |   |
| PT9            | PAINT<br>FINISH: SATIN                                   | BENJAMIN MOORE,<br>AURA                        | CW-590 WILLIAMSBURG WYTHE BLUE   | ACCENT AT SHOWER 203A & 210  |   |
|                | *** GENERAL CONTRACTO                                    |  | &/OR PROPERTY WITH PAINT SUPPLIE<br>PRIMER & (2) COATS PAINT ARE REQ                                       |  | GOING TOUCH UPS ***   |
| <br>ΓILE FL    | OORING   |  |  |  |   |
| CODE:          | DESCRIPTION:   | VENDOR/MFR:                                    | STYLE/FINISH/COLOUR:   | LOCATION:  | REMARKS / NOTES:  |
| T1             | FLOOR TILE   | CENTURA  | COLLECTION: GLOCAL<br>COLOUR: CLASSIC  | SHOWER 203A, WASHROOM 204,<br>LOCKERS 205, WASHROOM 210  | GROUT: MAPEI, KERABOND<br>COLOUR: 107 IRON                          |
|                |  |  | FINISH: NATURAL<br>SIZE: 12" X 24"   |  | LINE WIDTH: 1/8" MAX.   |
| T2             | FLOOR TILE   | CENTURA  | INSTALL: STACK  COLLECTION: GLOCAL   | SHOWER 204A  | TO BE INSTALLED WITH B2  GROUT: MAPEI, KERABOND                     |
|                |  |  | CLOUR: CLASSIC<br>FINISH: STRUTTURATO<br>SIZE: 12" X 12", MOSAIC<br>INSTALL: STACK                         |  | COLOUR: 107 IRON<br>LINE WIDTH: 1/8" MAX.                           |
| WALL T         | ILE  |  |  |  |   |
| CODE:          | DESCRIPTION:   | VENDOR/MFR:                                    | STYLE/FINISH/COLOUR:   | LOCATION:  | REMARKS / NOTES:  |
| WT1            | WALL TILE  | OLYMPIA TILE                                   | COLLECT: COLOUR & DIMENSION COLOUR: WARM WHITE FINISH: BRIGHT SIZE: 8" X 20" INSTALL: STACK                | WASHROOM 204 & SHOWER<br>204A  | GROUT: MAPEI, KERABOND<br>COLOUR: 107 IRON<br>LINE WIDTH: 1/8" MAX. |
| WT2            | WALL TILE  | CERATEC<br>SURFACES                            | COLLECTION: HABITAT<br>COLOUR: SUGAR<br>FINISH: GLOSSY<br>SIZE: 8" X 8"<br>INSTALL: STACK                  | SHOWER 204A  | GROUT: MAPEI, KERABOND<br>COLOUR: 107 IRON<br>LINE WIDTH: 1/8" MAX. |
| I              | LOORING  | 1  | T  | Τ  | T   |
| CODE:<br>LVT1  | DESCRIPTION: VINYL PLANK                                 | VENDOR/MFR: TARKETT                            | STYLE/FINISH/COLOUR:  COLLECTION: EVEN PLANE   | LOCATION:  DORMITORY 203, WASHROOM   | REMARKS / NOTES:  TO BE INSTALLED WITH WALL                         |
|                |  |  | COLOUR: CITIZEN OAK NATURAL<br>SIZE: 7.87" X 47.2"<br>INSTALL: ASHLAR                                      | 208  | BASE B1, UNLESS NOTED<br>OTHERWISE (SEE FINISH PLAN)                |
| WALL B         |  | T  | T  | T  | T   |
| CODE:<br>B1    | DESCRIPTION: RUBBER WALL BASE                            | VENDOR/MFR: TARKETT                            | STYLE/FINISH/COLOUR:  COLOUR: PEBBLE, 32   | LOCATION: AT LVT FLOORING IN   | REMARKS / NOTES:  |
| ы              | SERIES: TRADITIONAL C/W TOE SIZE: 4" HIGH                | TARRETT  | GOLOUK. PEBBLE, 32   | DORMITORY 203 & WASHROOM<br>208; LOCKERS 205 TO OUTSIDE<br>CORNERS AT WASHROOM 204                               |   |
| B2             | TILE BASE<br>SIZE: CUT TO 4" H                           | CENTURA  | COLLECTION: GLOCAL<br>COLOUR: CLASSIC<br>FINISH: NATURAL   | AT TILE FLOORING IN<br>DORMITORY 203, SHOWER 203A;<br>WASHROOM 204 TO OUTSIDE<br>CORNERS AT LOCKERS 205,         | GROUT: MAPEI, KERABOND<br>COLOUR: 107 IRON<br>LINE WIDTH: 1/8" MAX. |
|                |  |  |  | SHOWER 204A, WASHROOM 210  | TO BE INSTALLED WITH TR6  |
|                | & TRANSITIONS  | VENDOD/MED                                     | 0TV/ F/FINIOL/2010 ID  | LOCATION   | DEMARKS (NOTES  |
| CODE:<br>TR1   | DESCRIPTION: FLOORING TRANSITION                         | VENDOR/MFR:<br>SCHLUTER                        | STYLE/FINISH/COLOUR:  STYLE: RENO-U FINISH: ANO. ALUMINUM, SATIN   | LOCATION:  WHERE TILE FLOORING MEETS EXISTING &/OR NEW VINYL FLOORING  | REMARKS / NOTES:  |
| TR2            | FLOORING TRANSITION                                      | TARKETT  | STYLE: METAL EDGE<br>FINISH: IRONSTONE   | WHERE NEW VINYL FLOORING MEETS EXISTING VINYL FLOORING   |   |
| TR3            | COVE PROFILE   | SHCLUTER                                       | STYLE: DILEX-AHK<br>FINISH: ANO. ALUMINUM, SATIN   | HORIZONTAL & VERTICAL<br>INSIDE CORNERS AT SHOWER<br>204A  |   |
| TR4            | OUTSIDE CORNER<br>PROTECTION                             | SCHLUTER                                       | STYLE: QUADEC<br>FINISH: ANO. ALUMINUM, SATIN  | ALL TILE OUTSIDE CORNERS AT<br>WASHROOM 204 & SHOWER<br>204A   | INSTALL COMPLETE WIT END<br>CAPS, AS REQUIRED                       |
|                | OUTSIDE CORNER WALL                                      | SCHLUTER                                       | STYLE: SCHIENE-STEP<br>FINISH: ANO. ALUMINUM, SATIN  | OUTSIDE CORNERS AT<br>WASHROOM 204/LOCKER 205  |   |
| TR5            | TRANSITION   |  | +  | TILE WALL BASE CAP (TYPICAL)   |   |
| TR5            | TILE EDGE TRIM   | SCHLUTER                                       | STYLE: JOLLY<br>FINISH: ANO. ALUMINUM, SATIN   | & TRANSITION BETWEEN TILE WALL BASE & WALL TILE ABOVE  |   |
|                |  | SCHLUTER<br>SCHLUTER                           | FINISH: ANO. ALUMINUM, SATIN STYLE: RONDEC   | & TRANSITION BETWEEN TILE WALL BASE & WALL TILE ABOVE WALL TILE TRIM AT DOOR                                     | INSTALL COMPLETE WITH END   |
| TR6            | TILE EDGE TRIM  TILE EDGE TRIM                           | SCHLUTER                                       | FINISH: ANO. ALUMINUM, SATIN   | & TRANSITION BETWEEN TILE WALL BASE & WALL TILE ABOVE WALL TILE TRIM AT DOOR FRAME                               | CAPS, AS REQUIRED.  |
| TR6            | TILE EDGE TRIM  TILE EDGE TRIM                           | SCHLUTER                                       | FINISH: ANO. ALUMINUM, SATIN  STYLE: RONDEC FINISH: ANO. ALUMINUM, SATIN                                   | & TRANSITION BETWEEN TILE WALL BASE & WALL TILE ABOVE WALL TILE TRIM AT DOOR FRAME                               | CAPS, AS REQUIRED.  |
| TR6 TR7 MISCEL | TILE EDGE TRIM  TILE EDGE TRIM  *** FLOORING CO          | SCHLUTER                                       | FINISH: ANO. ALUMINUM, SATIN  STYLE: RONDEC FINISH: ANO. ALUMINUM, SATIN                                   | & TRANSITION BETWEEN TILE WALL BASE & WALL TILE ABOVE WALL TILE TRIM AT DOOR FRAME                               | CAPS, AS REQUIRED.  |
| TR6            | TILE EDGE TRIM  TILE EDGE TRIM  *** FLOORING CO  LANEOUS | SCHLUTER  NTRACTOR TO SOURCE                   | FINISH: ANO. ALUMINUM, SATIN  STYLE: RONDEC FINISH: ANO. ALUMINUM, SATIN  E & PROVIDE DEPTH OF TRIM FOR DE | & TRANSITION BETWEEN TILE WALL BASE & WALL TILE ABOVE WALL TILE TRIM AT DOOR FRAME SIGNER APPROVAL PRIOR TO PROC | CAPS, AS REQUIRED.  UREMENT ***                                     |



INTERIOR DESIGN : COMMERCIAL LIVING: WORKPLACE STRATEGY **BUILDINGS** : PROJECT MANAGEMENT

# CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# CONSULTANTS: ARCHITECT:

INTERIOR DESIGN: **TOSS SOLUTIONS** MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

# DRAWING LIST:

ID0.0 GENERAL LEGENDS & KEY PLAN ID1.0 DEMOLITION PLAN & FLOOR PLAN

ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW ID3.0 FINISHES PLAN & SCHEDULE

ID4.0 INTERIOR ELEVATIONS

ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

MECHANICAL M1.0 PLUMBING

M2.0 VENTILATION M3.0 SPECIFICATIONS

ID7.0 INTERIOR SPECIFICATIONS

ELECTRICAL
E1.0 DEMOLITION AND NEW POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT E3.0 ELECTRICAL SPECIFICATIONS

| Drawn By:         Approved By:           Drawn By:         Approved By: | REV. | DATE     | ISSUE     |          |              |    |
|--|------|----------|-----------|----------|--------------|----|
| Drawn By: Approved By:   | U    | 2023     | Drawn By: | MC       | Approved By: | ВВ |
| Drawn By: Approved By:  Drawn By: Approved By:  Drawn By: Approved By:   | 0    | JULY 14, |           | ISSUED F | OR TENDER    |    |
| Drawn By: Approved By:  Drawn By: Approved By:   |      |          | Drawn By: |          | Approved By: |    |
| Drawn By: Approved By:  Drawn By: Approved By:   |      |          |           |          | •            |    |
| Drawn By: Approved By:   |      |          | Drawn By: |          | Approved By: |    |
| Drawn By: Approved By:   |      |          |           |          | •            |    |
|  |      |          | Drawn By: |          | Approved By: |    |
|  |      |          |           |          | •            |    |
| Drawn By: Approved By:   |      |          | Drawn By: |          | Approved By: |    |
| Drawn By: Approved By:   |      |          |           |          |              |    |
|  |      |          | Drawn By: |          | Approved By: |    |

HE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTIONS HIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR EPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS,

# PROFESSIONAL SEAL:



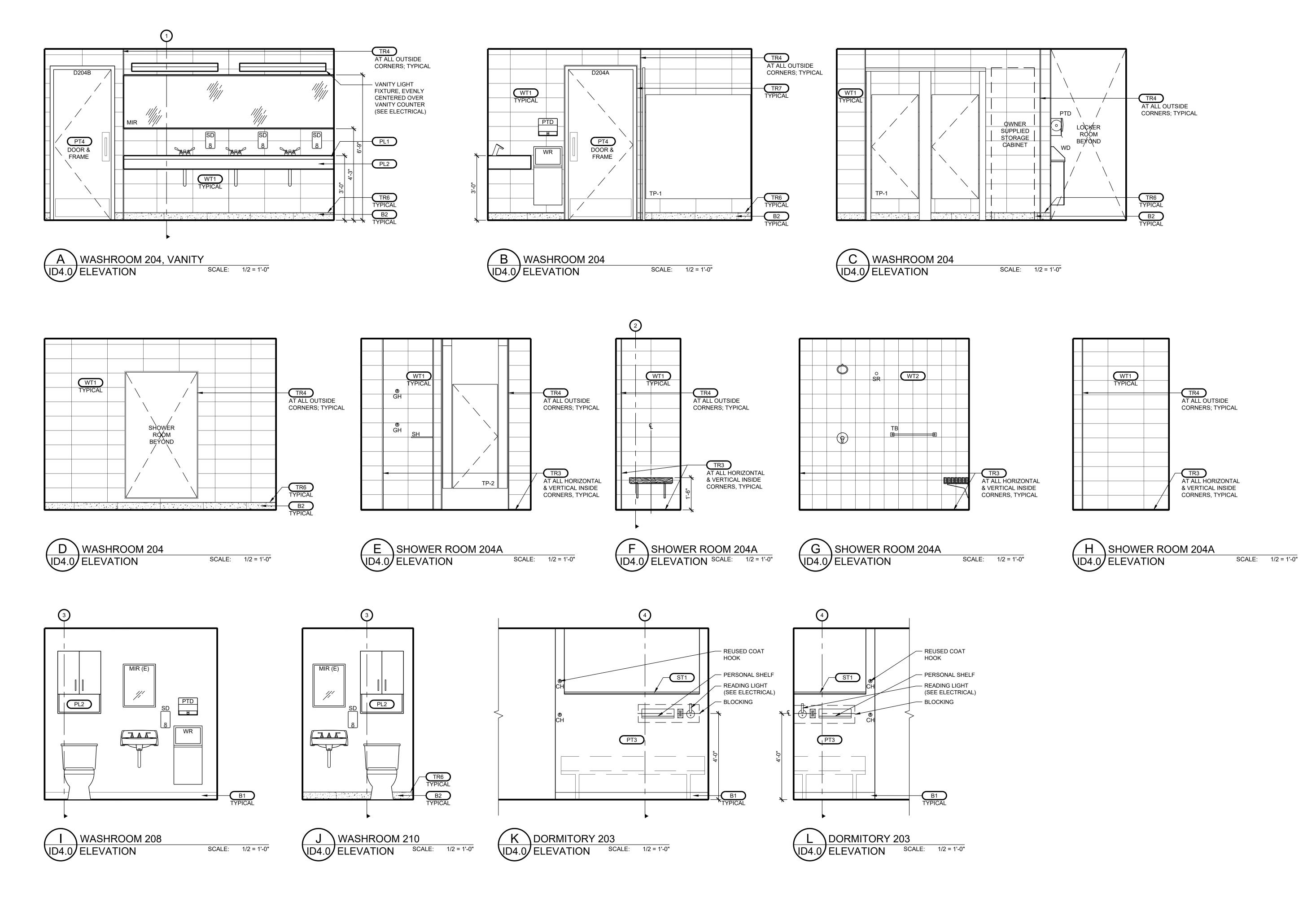
PROJECT NAME: LIVING QUARTERS FIRE STATION NO. 1

45 LEINSTER STREET SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

FINISHES PLAN & SCHEDULE

| <b>PROJECT NO</b> : 22-09 (509) | JUNE 2023   |
|---------------------------------|-------------|
| DWG. SCALE:                     | PLOT SCALE: |
| AS SHOWN                        | 1 : 1       |





BUILDINGS : PROJECT MANAGEMENT

CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# CONSULTANTS:

ARCHITECT: INTERIOR DESIGN: **TOSS SOLUTIONS** MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

### DRAWING LIST:

INTERIOR DESIGN
ID0.0 GENERAL LEGENDS & KEY PLAN
ID1.0 DEMOLITION PLAN & FLOOR PLAN

ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW

ID3.0 FINISHES PLAN & SCHEDULE

ID4.0 INTERIOR ELEVATIONS

ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

ID7.0 INTERIOR SPECIFICATIONS

MECHANICAL M1.0 PLUMBING M2.0 VENTILATION

M3.0 SPECIFICATIONS

ELECTRICAL
E1.0 DEMOLITION AND NEW POWER & COMMUNICATION

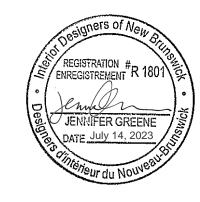
E3.0 ELECTRICAL SPECIFICATIONS

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT

| SUBM | IISSIONS |           |    |              |    |
|------|----------|-----------|----|--------------|----|
|      |          |           |    |              |    |
|      |          | Drawn By: |    | Approved By: |    |
|      |          |           |    | _            |    |
|      |          | Drawn By: |    | Approved By: |    |
|      |          |           |    |              |    |
|      |          | Drawn By: |    | Approved By: |    |
|      |          |           |    | Т            |    |
|      |          | Drawn By: |    | Approved By: |    |
|      |          |           |    | T            |    |
|      |          | Drawn By: |    | Approved By: |    |
| 0    | JULY 14, |           |    | OR TENDER    |    |
|      | 2023     | Drawn By: | MC | Approved By: | BB |
| REV. | DATE     | ISSUE     |    |              |    |

THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTION: THIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS,

# PROFESSIONAL SEAL:



PROJECT NAME:

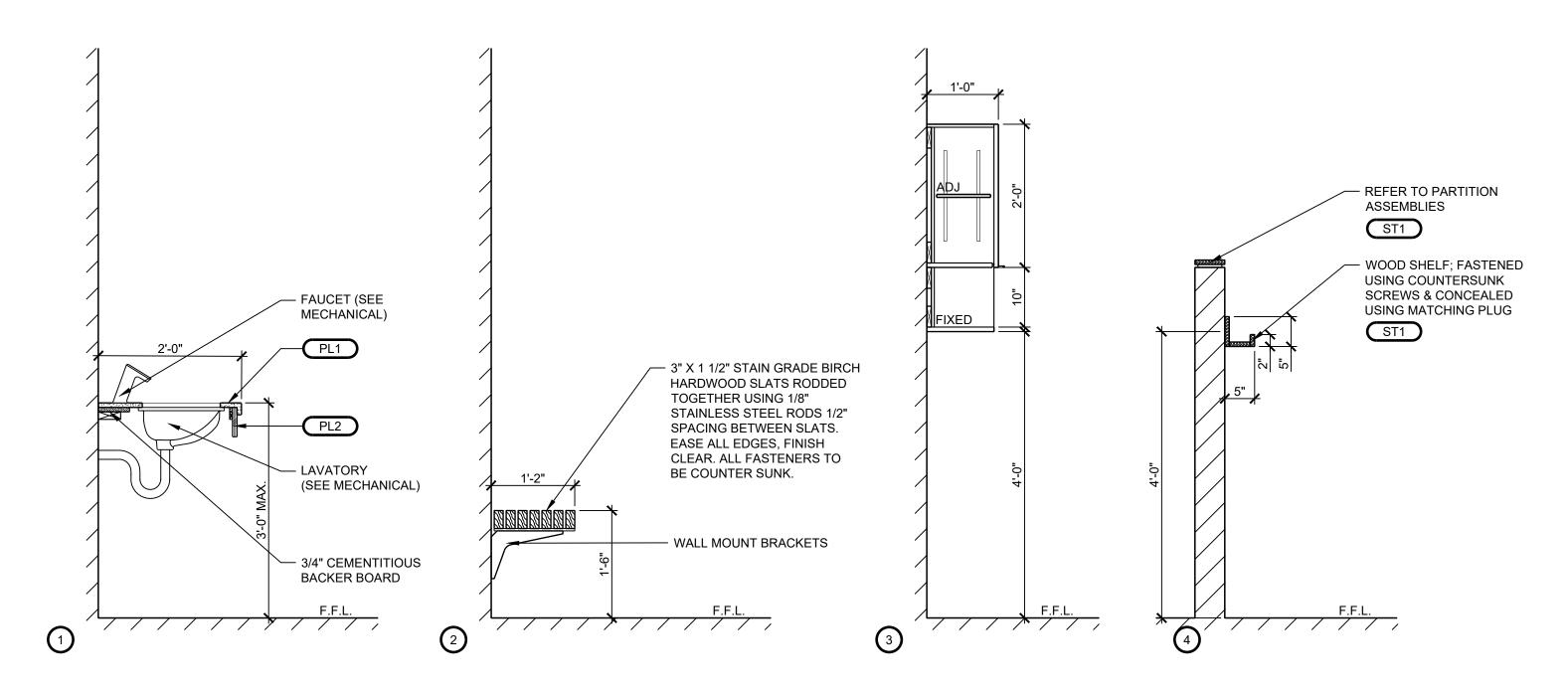
LIVING QUARTERS FIRE STATION NO. 1

45 LEINSTER STREET SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

INTERIOR ELEVATIONS

| PROJECT NO: 22-09 (509) | JUNE 2023   |
|-------------------------|-------------|
| DWG. SCALE:             | PLOT SCALE: |
| A C CHOWN               | 14.4        |





# CASEWORK NOTES & HARDWARE LEGEND

## GENERAL NOTES

1. GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING SITE DIMENSIONS AT PROPOSED CASEWORK LOCATIONS PRIOR TO SHOP DRAWING SUBMITTAL AND FABRICATION.

2. PROVIDE ADEQUATE WALL REINFORCEMENT WITHIN ASSEMBLIES TO SUPPORT HUNG CABINETS, COUNTERS AND SHELVES.

3. PROVIDE CONTINUOUS CLEAR CAULKING WHERE COUNTERTOP/BACKSPLASH MEETS WALL SURFACES. 4. PROVIDE FILLER STRIPS AS REQUIRED.

CONSTRUCTION 1. CASEWORK CONSTRUCTION IS AS FOLLOWS:

2. FURRING, BLOCKING, NAILING STRIPS, GROUNDS AND ROUGH BUCKS, SLEEPERS AND CONCEALED FRAMING TO BE SOFTWOOD LUMBER, PINE SPECIES.

3. CASEWORK BODIES, ENDS, DIVISIONS AND BOTTOMS, TO BE 3/4" PLYWOOD. 4. CASEWORK DOORS AND DRAWER FRONTS TO BE 3/4" SOLID WOOD OR 3/4" PLYWOOD WITH FLUSH HARDWOOD EDGES...

8. ALL METAL WORK IS TO HAVE CONTINUOUS WELDS, GROUND & POLISHED SMOOTH PRIOR TO APPLICATION OF PAINT FINISH.

5. DRAWER BOXES TO BE CONSTRUCTED OF 3/4" HARDWOOD, SIDES, BACK AND BOTTOM.

6. CONCEALED CASEWORK FRAMING TO BE BIRCH OR MAPLE SPECIES. 7. PLASTIC LAMINATE COUNTERTOPS, WORKSURFACES AND NOSING ARE TO BE 3/4" PLYWOOD WITH PLASTIC LAMINATE ON ALL EXPOSED EDGES.

1. SUPPLY HARDWARE WITH FASTENERS, OTHER ITEMS AND PARTS REQUIRED FOR COMPLETE INSTALLATION AND FUNCTIONING.

2. ALL CASEWORK HARDWARE IS TO BE PROVIDED INCLUDING DRAWER SLIDES, HINGES, RECESSED SHELF STANDARDS, HANDLES, GROMMETS, ETC.

3. PROVIDE RUBBER BUMPERS AT ALL CORNERS OF DOOR AND DRAWERS. 4. KEYED LOCK: 987NP BY KNAPE AND VOGT CANADA INC. PROVIDE TWO CHANGE KEYS PER LOCK.

5. HINGES: SALICE 200, 120 DEG. CONCEALED, STEEL FREE SWING HINGE.

6. MEDIUM DUTY DRAWER SLIDES: 3834E, ACCURIDE, 1" OVER TRAVEL, ZINC COATED STEEL (UP TO 16" W).

7. HEAVY DUTY DRAWER SLIDES: 4032, ACCURIDE, FULL EXTENSION, ZINC COATED STEEL (UP TO 27" W). 8. ALL CONCEALED CASEWORK PANEL SHELVING AND SUPPORT CLIPS: KNAPE & VOGT, 255 SERIES STEEL FLUSH MOUNTED PILASTER WITH 256 SERIES STEEL SHELF

SUPPORTS.

9. ALL CASEWORK GLAZING IS TO BE 1/4" FROSTED LAMINATED GLASS PANELS, U.N.O.. 10. FLOATING COUNTERTOP BRACKETS: CENTERLINEBRACKETS FLOATING WALL-MOUNT BRACKETS, CODE: FWM; GC TO ENSURE ADEQUATE BLOCKING WITHIN WALL &

BRACKET SIZE IS ADEQUATE FOR APPLICATION/LOAD. 11. PULL-OUT BASE CABINET WASTE/RECYCLING CENTERS TO BE RICHELIEU BOTTOM-MOUNTING PULL-OUT WASTE CONTAINER, SIZED TO FIT CABINET

DIMENSIONS AS SHOWN ON ELEVATIONS.

| CODE: | DESCRIPTION:         | VENDOR/MFR:            | STYLE/FINISH/COLOUR:                                    | LOCATION:          | REMARKS / NOTES:               |
|-------|----------------------|------------------------|---|--------------------|--------------------------------|
| HW-1  | DECORATIVE DOOR PULL | ROCHELEAU              | POI-R1298-128-BSN<br>MATERIAL: METAL, BRUSHED<br>NICKEL | WASHROOM 208 & 210 | SEE ELEVATIONS FOR ORIENTATION |
| HW-2  | HEAVY-DUTY BRACKET   | RICHELIEU,<br>KOLOSSUS | 9910081230<br>MATERIAL: STEEL, WHITE<br>FINISH          | SHOWER ROOM 204A   | SEE ELEVATIONS FOR ORIENTATION |

## PLASTIC LAMINATE &/OR PANEL PRODUCT

| CODE: | DESCRIPTION:                                 | VENDOR/MFR: | STYLE/FINISH/COLOUR:  | LOCATION:   | REMARKS / NOTES: |
|-------|--|-------------|---|---|------------------|
| PL1   | POSTFORMED PLASTIC<br>LAMINATE, PLYWOOD CORE | PREMOULE    | PROFILE: SQUARE P2 BAR<br>TOP; CUT TO SIZE<br>COLOUR: ARBORITE<br>P1017-VL<br>THICKNESS: 19mm | COUNTERTOP AT WASHROOM<br>204   |                  |
| PL2   | TFL PANEL                                    | TAFISA      | SERIES: SOMMET TEXTURE: VIVA COLOUR: CASTING AT FIRST   | VANITY APRON AT WASHROOM<br>204; WALL CABINET AT<br>WASHROOMS 208 & 210 |                  |

## WOOD & STAIN

| CODE: | DESCRIPTION:                        | VENDOR/MFR:    | STYLE/FINISH/COLOUR:  | LOCATION:<br>(WALL APPLICATION U.N.O.)  | REMARKS / NOTES:  |
|-------|-------------------------------------|----------------|---|---|---|
| ST1   | HARDWOOD<br>THICKNESS: 3/4"         | SOURCE BY G.C. | WHITE OAK, STAINED TO<br>MATCH LVT1; CLEAR<br>POLYURETHANE FINISH<br>COAT | SHELF AT EACH BEDSIDE & WOOD TOP TRIM AT PARTITION ASSEMBLY TYPE P4 TO 60" A.F.F. | SAMPLE TO BE PROVIDED FOR<br>DESIGNER APPROVAL, PRIOR TO<br>FABRICATION |
| ST2   | BIRCH HARDWOOD<br>SIZE: 3" X 1 1/2" | SOURCE BY G.C. | CLEAR POLYURETHANE<br>FINISH COAT   | BENCHES AT SHOWER ROOM<br>204A  | SAMPLES TO BE PROVIDED FOR DESIGNER APPROVAL, PRIOR TO                  |

\*\*\* GENERAL CONTRACTOR TO PROVIDE OWNER &/OR PROPERTY WITH PAINT SUPPLIER & FORMULAS FOR FUTURE & ON-GOING TOUCH UPS \*\*\* \*\*\* (1) COAT PRIMER & (2) COATS PAINT ARE REQUIRED (MINIMUM) \*\*\*



**BUILDINGS : PROJECT MANAGEMENT** 

## CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

#### CONSULTANTS:

ARCHITECT: INTERIOR DESIGN: TOSS SOLUTIONS MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST:

#### DRAWING LIST:

LANDSCAPE ARCHITECT:

ID0.0 GENERAL LEGENDS & KEY PLAN

ID1.0 DEMOLITION PLAN & FLOOR PLAN

ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW

ID3.0 FINISHES PLAN & SCHEDULE ID4.0 INTERIOR ELEVATIONS

ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE

ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES ID7.0 INTERIOR SPECIFICATIONS

MECHANICAL M1.0 PLUMBING

M2.0 VENTILATION

M3.0 SPECIFICATIONS

ELECTRICAL
E1.0 DEMOLITION AND NEW POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT E3.0 ELECTRICAL SPECIFICATIONS

# SUBMISSIONS:

| REV. | DATE     | ISSUE  |          |              |    |
|------|----------|--|----------|--------------|----|
| U    | 2023     | Drawn By:  | MC       | Approved By: | BE |
| 0    | JULY 14, |  | ISSUED F | OR TENDER    |    |
|      |          | Drawn By:  |          | Approved By: |    |
|      |          |  |          | •            |    |
|      |          | Drawn By:  |          | Approved By: |    |
|      |          |  |          | -1           |    |
|      |          | Drawn By:  |          | Approved By: |    |
|      |          | <del>                                     </del> |          | 1            |    |
|      |          | Drawn By:  |          | Approved By: |    |
|      |          | Drawn By:  |          | Approved By: |    |
|      |          | D D  |          | A d D        |    |

THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTIONS THIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS,

# PROFESSIONAL SEAL:



# PROJECT NAME:

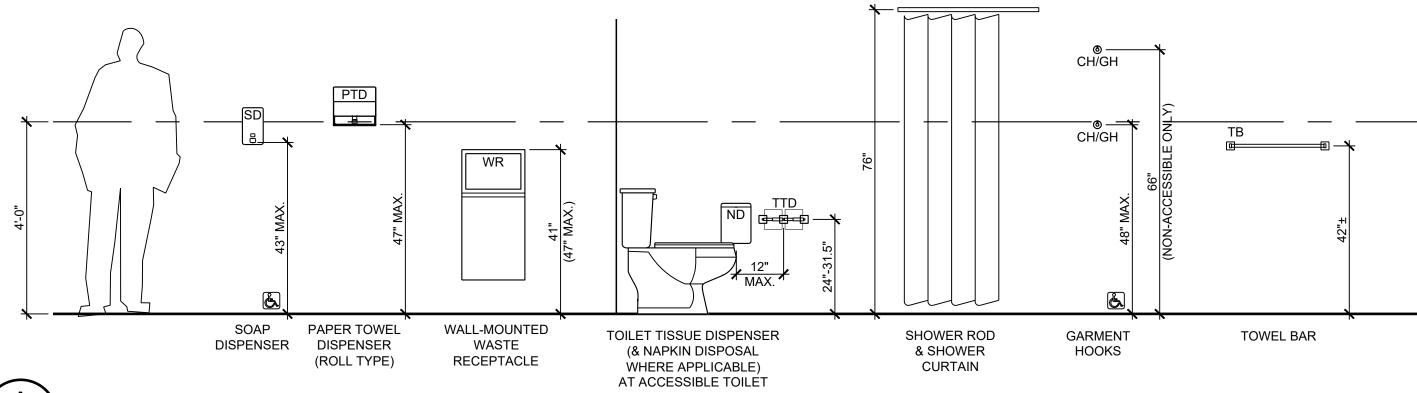
LIVING QUARTERS FIRE STATION NO. 1

45 LEINSTER STREET SAINT JOHN, NB, E2L 1H9

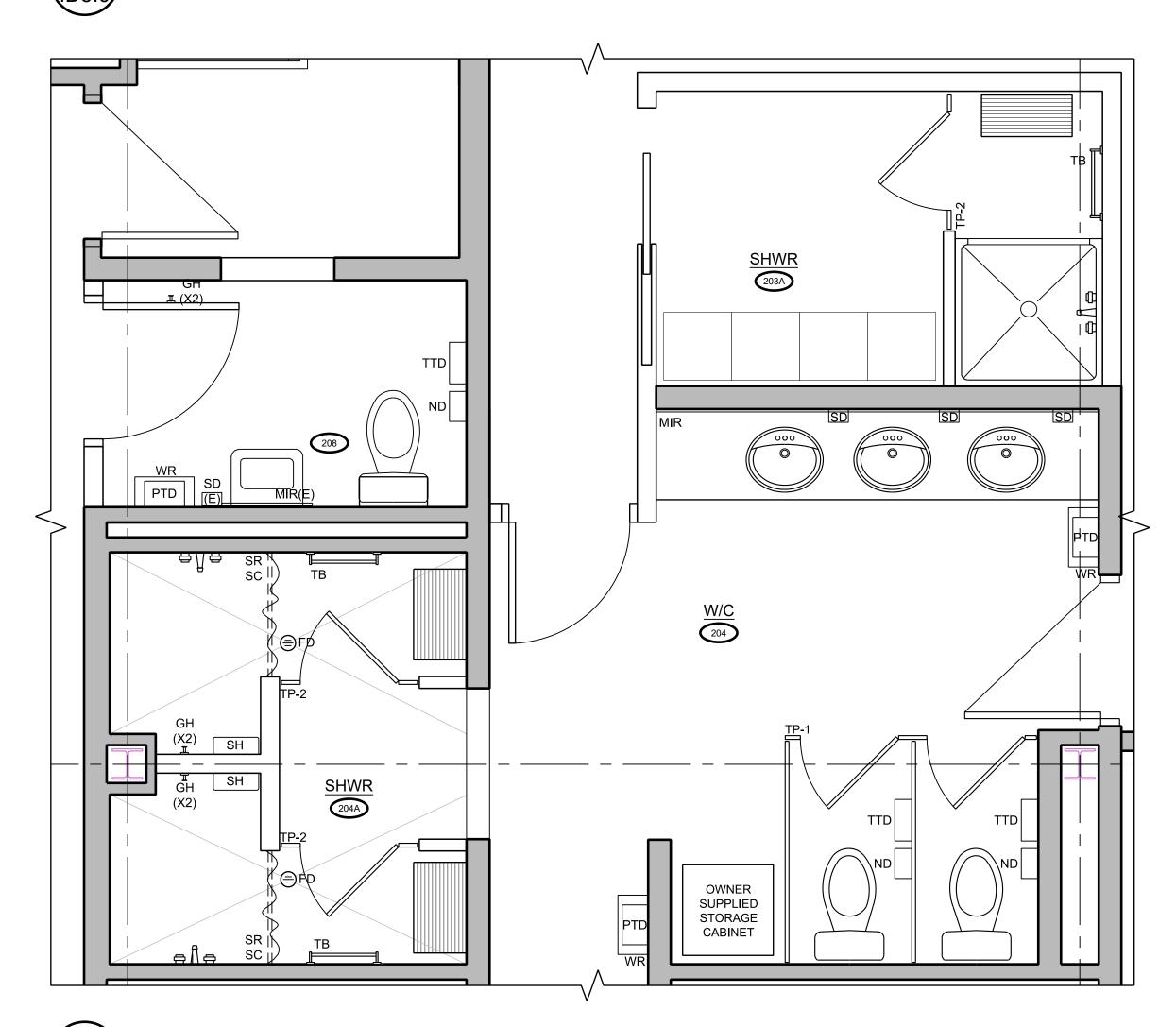
# DRAWING TITLE:

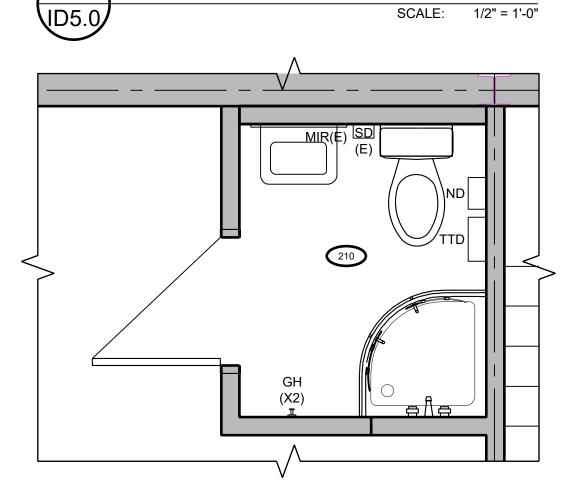
CASEWORK SECTIONS, **NOTES & HARDWARE** 

| PROJECT NO: | DATE        |
|-------------|-------------|
| 22-09 (509) | I JUNE 2023 |
| DWG. SCALE: | PLOT SCALE: |



WASHROOM ACCESSORIES MOUNTING HEIGHT SCALE: 1/2" = 1'-0"





ENLARGED FLOOR PLAN

ENLARGED FLOOR PLAN SCALE: 1/2" = 1'-0"

# WASHROOM ACCESSORIES NOTES & SCHEDULE

1. PROVIDE 12" CLEAR AREA ABOVE GRAB BARS (TYPICAL)
2. PROVIDE 1.5"-1.75" CLEAR AREA BETWEEN GRAB BARS AND ADJACENT ACCESSORIES AND OTHER GRAB BARS

3. PROVIDE BLOCKING TO SUPPORT MIN. 1.3kN. OF FORCE IN ANY DIRECTION

4. ALL EQUIPMENT CONTROLS OR PRODUCT DISPENSER LOCATIONS MUST BE WITHIN ACCESSIBLE REACH RANGE (16" MIN. TO 48" MAX.) 5. CONTRACTOR TO SITE VERIFY LENGTH AND WIDTH OF BARRIER FREE WASHROOM BEFORE INSTALLATION OF FIXTURES AND ACCESSORIES.

6. FINAL MOUNTING HEIGHTS ARE TO BE COORDINATED WITH DESIGNER PRIOR TO INSTALLATION.

| CODE:    | DESCRIPTION:  | VENDOR/MANUFAC<br>TURER: | STYLE/FINISH/COLOUR:   | LOCATION:                            | REMARKS/ NOTES:                                     |
|----------|---|--------------------------|--|--------------------------------------|---|
| MIR.     | MIRROR, COMPLETE WITH<br>J-SHAPE FINISHING MOLDING  | CONTRACTOR TO<br>SOURCE  | FRAMELESS MIRROR WITH POLISHED EDGES; LOW IRON/ULTRA CLEAR TYPE RICHELIEU: 010041170 & 010033170, STAINLESS STEEL FINISH | WASHROOM 204                         | REFER TO INTERIOR<br>ELEVATIONS                     |
| MIR. (E) | MIRROR  | EXISTING TO BE<br>REUSED |  | WASHROOMS: 208 & 210                 |   |
| SD       | SOAP DISPENSER, SURFACE<br>MOUNTED  |                          |  | WASHROOMS: 204, 208<br>& 210         | PROVIDED BY CITY OF SAIN JOHN, INSTALLED BY G.C.    |
| PTD      | UNIVERSAL PAPER TOWEL<br>DISPENSER, SURFACE MOUNTED   | FROST                    | MODEL: 101<br>SIZE: 10"H x 11"W x 7"D<br>FINISH: WHITE EPOXY   | WASHROOMS: 204, 208,<br>210          | PROVIDED BY CITY OF SAIN<br>JOHN, INSTALLED BY G.C. |
| WR       | WASTE RECEPTACLE; SURFACE<br>MOUNTED  | FROST                    | MODEL: 303<br>SIZE: 32"H x 15"W x 8"D<br>FINISH: WHITE EPOXY   | WASHROOMS: 204, 208,<br>210          | PROVIDED BY CITY OF SAIN<br>JOHN, INSTALLED BY G.C. |
| ND       | SANITARY NAPKIN DISPOSAL,<br>SURFACE MOUNTED  | FROST                    | MODEL: 620<br>SIZE: 13"H x 8"W x 4 1/2"D<br>FINISH: WHITE EPOXY  | WASHROOMS: 204, 208,<br>210          | PROVIDED BY CITY OF SAIN<br>JOHN, INSTALLED BY G.C. |
| TTD      | TOILET TISSUE DISPENSER<br>DOUBLE ROLL  | FROST                    | MODEL: 150<br>SIZE: 2 3/4"H x 11"W x 4 1/2"D<br>FINISH: STAINLESS STEEL,<br>POLISHED CHROME                              | WASHROOMS: 204, 208,<br>210          | PROVIDED BY CITY OF SAIN<br>JOHN, INSTALLED BY G.C. |
| СН       | COAT HOOK   | EXISTING TO BE<br>REUSED |  | DORMITORY 203                        | REFER TO INTERIOR ELEVATIONS                        |
| GH       | GARMENT HOOK  | BOBRICK                  | MODEL: B-6707<br>SIZE: 2"H x 2"W X 2"D<br>FINISH: STAINLESS STEEL, SATIN   | WASHROOMS: 208 & 210<br>SHOWER: 204A | INCLUDE GARMENT HOOK A<br>EACH INDICATED HEIGHT.    |
| ТВ       | TOWEL BAR   | BOBRICK                  | MODEL: B-6747<br>SIZE: 2"H x 18"W x 3"D<br>FINISH: STAINLESS STEEL, SATIN  | SHOWERS: 203A & 204A                 |   |
| SH       | SHOWER SHELF  | SCHLUTER                 | BRUSHED STAINLESS STEEL FINISH,<br>PATTERN DESIGN: WAVE  | SHOWER 204A                          | SEE INTERIOR ELEVATIONS                             |
| TP-1     | TOILET PARTITION DURALINE PHENOLIC TOILET PARTITION   | BOBRICK                  | SERIES: 1082 OVERHEAD BRACED<br>SIZE: TBD ON SITE<br>FINISH: SILVRETTA 0229-FH   | WASHROOM 204                         |   |
| TP-2     | TOILET PARTITION DURALINE PHENOLIC TOILET PARTITION   | BOBRICK                  | SERIES: 1088 CEILING HUNG<br>SIZE: TBD ON SITE<br>FINISH: SILVRETTA 0229-FH  | SHOWER 204A                          |   |
| SR       | STRAIGHT SHOWER CURTAIN<br>ROD<br>THICKNESS: 20 GAUGE, TYPE 304<br>SIZE: 1" DIAMETER X 36" LENGTH,<br>CUT TO SIZE | BOBRICK                  | B-6107-36<br>STAINLESS STEEL, SATIN FINISH   | SHOWERS: 203A & 204A                 |   |
| SC       | SHOWER CURTAIN<br>SIZE: 70"W X 72" H<br>MATERIAL: VINYL, 0.2mm  | BOBRICK                  | 204-3 OPAQUE, MATTE WHITE COMPLETE WITH SHOWER CURTAIN HOOK 204-1  | SHOWERS: 203A & 204A                 |   |



INTERIOR DESIGN : COMMERCIAL LIVING: WORKPLACE STRATEGY **BUILDINGS : PROJECT MANAGEMENT** 

CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# CONSULTANTS: ARCHITECT:

INTERIOR DESIGN: TOSS SOLUTIONS MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

# DRAWING LIST:

INTERIOR DESIGN
ID0.0 GENERAL LEGENDS & KEY PLAN
ID1.0 DEMOLITION PLAN & FLOOR PLAN

ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW

ID3.0 FINISHES PLAN & SCHEDULE ID4.0 INTERIOR ELEVATIONS

ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS
ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

ID7.0 INTERIOR SPECIFICATIONS

MECHANICAL M1.0 PLUMBING

M2.0 VENTILATION

M3.0 SPECIFICATIONS

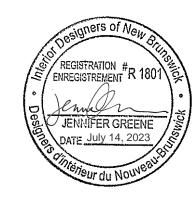
ELECTRICAL
E1.0 DEMOLITION AND NEW POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT E3.0 ELECTRICAL SPECIFICATIONS

| SUBM | SUBMISSIONS: |           |        |              |    |
|------|--------------|-----------|--------|--------------|----|
|      |              |           |        |              |    |
|      |              | Drawn By: |        | Approved By: |    |
|      |              |           |        |              |    |
|      |              | Drawn By: |        | Approved By: |    |
|      |              |           |        |              |    |
|      |              | Drawn By: |        | Approved By: |    |
|      |              |           |        |              |    |
|      |              | Drawn By: |        | Approved By: |    |
|      |              |           |        |              |    |
|      |              | Drawn By: |        | Approved By: |    |
| 0    | JULY 14,     |           | ISSUED | FOR TENDER   |    |
| U    | 2023         | Drawn By: | MC     | Approved By: | BB |
| REV. | DATE         | ISSUE     |        |              |    |

THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTION: THIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS,

# PROFESSIONAL SEAL:



PROJECT NAME:

LIVING QUARTERS FIRE STATION NO. 1

45 LEINSTER STREET SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

ENLARGED PLANS & **DETAILS: WASHROOMS** 

| PROJECT NO: 22-09 (509) | DATE: JUNE 2023 |
|-------------------------|-----------------|
| DWG. SCALE:             | PLOT SCALE:     |
| V & SHOWN               | 11.1            |

# **DOOR & FRAME NOTES**

- 1. SEE DOOR SCHEDULE FOR DOOR SIZES, FINISHES, MATERIALS AND RATINGS.
- 2. REFER TO HARDWARE SCHEDULE FOR DOOR HARDWARE.
- 3. ALL DOOR AND SIDELIGHT GASKETING IS TO BE RUBBER, NOT PUTTY.
- 5. NEW DOORS ARE TO BE FACTORY PREPPED FOR SPECIFIED HARDWARE.
- 6. ALL DOORS ARE TO BE UNDERCUT 3/4" UNLESS NOTED OTHERWISE.
- 7. HOLLOW METAL FRAMES TO BE REINFORCED, DRILLED AND TAPPED FOR RECESSED MOUNTED HARDWARE AND MORTISE HARDWARE, AS REQUIRED.
- 8. ALL HOLLOW METAL FRAMES TO BE OF WELDED CONSTRUCTION & SUPPLIED WITH DOOR SILENCERS.
- 9. PROVIDE (3) HINGES ON DOORS LESS THAN 7'-6" IN HEIGHT & (1) ADDITIONAL FOR EACH ADDITIONAL 2'-6" OR FRACTION THEREOF.

## **GLAZING MATERIAL**

F.G. FLOAT GLASS

- GL. EXTERIOR INSULATED GLAZING PANEL
- 1/4" / 6mm CLEAR GLAZING
- 1/2" / 13mm AIR SPACE (ARGON-FILLED) - 1/4" / 6mm CLEAR GLAZING (LOW-E)
- I.P. INSULATED ALUMINUM PANEL
- ANODIZED ALUMINUM EXTERIOR PANEL
- 1/4" / 6mm SINGLE FLOAT GLAZING
- W.G. <u>WIRE GLASS</u>
- 1/4" / 6mm SINGLE WIRED GLAZING
- T.G. <u>TEMPERED GLASS</u>
- 3/8" / 10mm SINGLE TEMPERED GLAZING S.G. <u>SAFETY GLASS</u>

- 3/8" / 10mm SINGLE LAMINATED GLAZING

#### DOOR AND FRAME MATERIALS H.M.D. HOLLOW METAL DOOR

- 18GA / 1.2mm SHEET METAL CLADDING
- H.M.F. HOLLOW METAL FRAME
- 16GA / 1.5mm SHEET METAL PROFILE WD. SOLID CORE WOOD DOOR / HARDWOOD FRAME
  - STAIN GRADE (ST) - PAINT GRADE (PT)

| D205B         | EXISTING          |          |  |  |    | PT |  |
|---------------|-------------------|----------|--|--|----|----|--|
| D208A         | D1 84 36 1 3/4 WD |          |  |  | WD | PT |  |
| D220A         |                   | EXISTING |  |  |    |    |  |
| D220B         | EXISTING -        |          |  |  |    |    |  |
| D221AA        | EXISTING PT       |          |  |  |    | PT |  |
| NOTES:        |                   |          |  |  |    |    |  |
| GENERAL NOTE: |                   |          |  |  |    |    |  |

32

**EXISTING** 

32

**EXISTING** 

- REFER TO FINISH SCHEDULE FOR PAINT COLOUR & FINISH.

84

DOOR

1 3/4

1 3/4

DOOR

NUM.

D203A

D204A

D204B

D205A

|              | DOOR AND FRAME LEGEND |              |              |  |  |  |
|--------------|-----------------------|--------------|--------------|--|--|--|
| SEE SCHEDULE | SEE                   | SEE SCHEDULE | SEE SCHEDULE |  |  |  |

**F**1

|      | HARDWARE SCHEDULE |                            |            |                           |        |       |  |
|------|-------------------|----------------------------|------------|---------------------------|--------|-------|--|
| NO.  | QTY.              | ITEM                       | MAN'FR.    | PRODUCT NO.               | FINISH | NOTES |  |
| 1    | 1                 | POCKET DOOR TRACK KIT      | KN CROWDER | TYPE C-W-2X4              |        |       |  |
|      | 1                 | POCKET DOOR PULL (PRIVACY) | KN CROWDER | C-90L-OT, CONCEALED       | US26D  |       |  |
| 2    | 3                 | HINGE                      | MCKINNEY   | T4A3786 (4 1/2" x 4 1/2") | 26D    |       |  |
|      | 1                 | PUSH PLATE                 | IVES       | 8200 (4 X 16)             | US26D  |       |  |
|      | 1                 | PUSH PLATE/HANDLE          | IVES       | 8305 (4 X 16)             | US26D  |       |  |
|      | 2                 | KICKPLATE                  | IVES       | 8400 (10 X 25)            | US26D  |       |  |
|      | 1                 | CLOSER                     | SARGENT    | EN1431                    | EN     |       |  |
| 3    | 3                 | HINGE                      | MCKINNEY   | T4A3786 (4 1/2" x 4 1/2") | 26D    |       |  |
|      | 1                 | LOCKSET (PRIVACY)          | SARGENT    | 65U65-KL                  | 26D    |       |  |
|      | 1                 | KICKPLATE                  | IVES       | 8400 (10 X 34)            | US26D  |       |  |
|      | 1                 | FLOOR STOP                 | STD METAL  | S102L                     | 26D    |       |  |
|      | 1                 | CLOSER                     | SARGENT    | EN1431                    | EN     |       |  |
| 4    | 2                 | KICKPLATE                  | IVES       | 8400 (10 X 34)            | US26D  |       |  |
|      | 1                 | CLOSER                     | SARGENT    | EN1431                    | EN     |       |  |
| NOTE | S:                |                            |            |                           |        |       |  |

DOOR & FRAME SCHEDULE

WD

WD

PT 45mins

FRAME

**EXISTING** 

**EXISTING** 

**EXISING** 

F1 H.M.F.

**EXISTING** 

**EXISTING** 

**EXISTING** 

F1 H.M.F.

PT

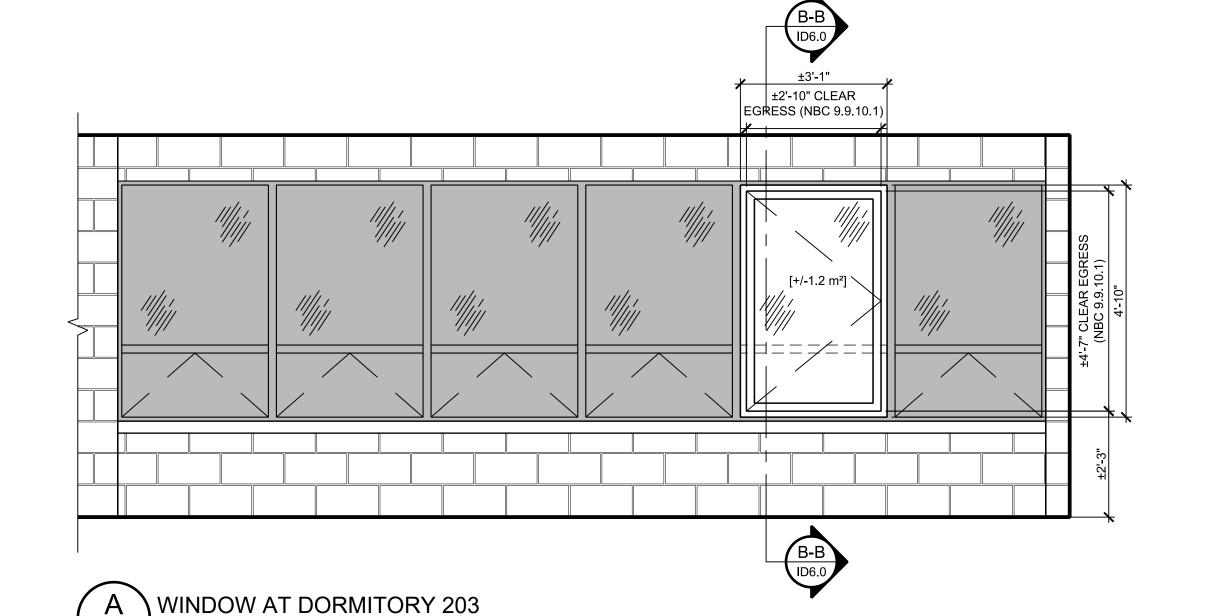
PT

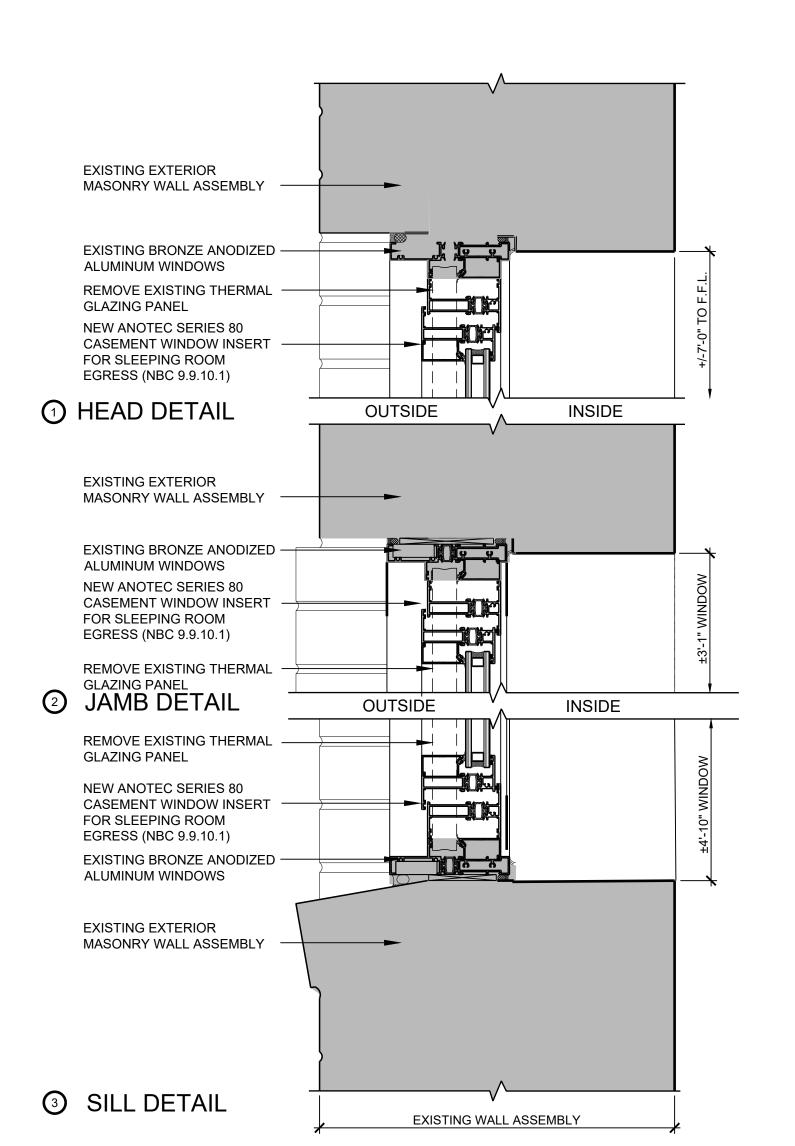
PT

PT

PT

PT







INTERIOR DESIGN : COMMERCIAL LIVING: WORKPLACE STRATEGY **BUILDINGS: PROJECT MANAGEMENT** 

#### CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# CONSULTANTS:

ARCHITECT: INTERIOR DESIGN: **TOSS SOLUTIONS** MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

#### DRAWING LIST:

ID0.0 GENERAL LEGENDS & KEY PLAN

ID1.0 DEMOLITION PLAN & FLOOR PLAN ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW

ID3.0 FINISHES PLAN & SCHEDULE ID4.0 INTERIOR ELEVATIONS

ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES ID7.0 INTERIOR SPECIFICATIONS

MECHANICAL M1.0 PLUMBING M2.0 VENTILATION

M3.0 SPECIFICATIONS

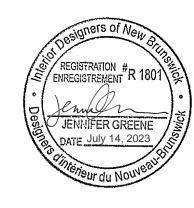
ELECTRICAL
E1.0 DEMOLITION AND NEW POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT E3.0 ELECTRICAL SPECIFICATIONS

# SUBMISSIONS: Approved By: Approved By: Approved By: Approved By: Approved By: ISSUED FOR TENDER JULY 14, 2023 Drawn By: MC Approved By: BB REV. DATE ISSUE

THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTION: THIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS,

# PROFESSIONAL SEAL:



# PROJECT NAME:

LIVING QUARTERS FIRE STATION NO. 1

45 LEINSTER STREET SAINT JOHN, NB, E2L 1H9

# DRAWING TITLE:

DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

| JUNE 2023   |
|-------------|
| PLOT SCALE: |
|             |

# **INTERIOR SPECIFICATIONS**

#### DIVISION 01, GENERAL REQUIREMENTS

REFER TO CITY OF SAINT JOHN ISSUED DOCUMENTS FOR DIVISION 01 GENERAL

FLOOR LEVELING AS REQUIRED THIS CONTRACT AT, AND AROUND EXISTING FLOOR TILE AREA, USING A CEMENTITIOUS SELF LEVELING SYSTEM THAT CAN ACHIEVE UP TO 38MM THICKNESS. PRE-APPROVED PRODUCTS ARE: SIKA LEVEL-125, MAPEI

LEVELING UNDERLAYMENT. LEVELING MATERIALS ARE TO BE COMPLIANT WITH PROPOSED FINISH MATEIRALS AS WELL AS ALL APPLICABLE INDUSTRY STANDARDS AND CODES. REVIEW PROPOSED LEVELLING MATERIAL PRODUCT LITERATURE WITH OWNER REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION

UNDERLAYMENT SELF-LEVELER PLUS AND USG DUROCK BRAND MULTIPURPOSE SELF

## DIVISION 06, WOOD, PLASTICS AND COMPOSITES

1.1. NAILS, SPIKES, STAPLES TO CSA B111. STEEL SCREWS TO ASTM C1002. ALL FASTENERS GALVANIZED.

1.2. BOLTS - ANCHOR BOLTS AND RAILING CARRIAGE BOLTS, GALVANIZED LENGTH AS REQUIRED C/W GALVANIZED NUTS AND WASHERS

SOFTWOOD LUMBER: 2.1. LUMBER SHALL BE GRADED AND STAMPED AS PER THE CANADIAN LUMBER STANDARDS ACCREDITATION BOARD.

2.2. DIMENSIONED LUMBER TO CAN/CSA-0141 S4S SOFTWOOD WITH MAXIMUM MOISTURE CONTENT OF 19% OR LESS IN ACCORDANCE WITH AWMAC PREMIUM GRADE, MOISTURE CONTENT AS SPECIFIED

2.3. MINIMUM LUMBER GRADES SHALL BE AS SET OUT IN PART 9 OF NBC. 2.4. FRAME, ANCHOR, FASTEN, TIE AND BRACE MEMBERS TO PROVIDE NECESSARY STRENGTH AND RIGIDITY 2.5. COUNTERSINK BOLTS WHERE NECESSARY TO PROVIDE CLEARANCE FOR OTHER

HARDWOOD LUMBER: 3.1. SPECIES AS SPECIFIED ON DRAWINGS.

3.2. MOISTURE CONTENT OF 10% OR LESS IN ACCORDANCE WITH AWMAC PREMIUM GRADE, MOISTURE CONTENT AS SPECIFIED.

3.3. MINIMUM LUMBER GRADES SHALL BE AS SET OUT IN PART 9 OF NBC. 3.4. FRAME, ANCHOR, FASTEN, TIE AND BRACE MEMBERS TO PROVIDE NECESSARY STRENGTH AND RIGIDITY 3.5. COUNTERSINK BOLTS WHERE NECESSARY TO PROVIDE CLEARANCE FOR OTHER

CASEWORK: (SHOP DRAWINGS REQUIRED, REFER TO ID3.0 AND/OR ID4.1) 4.1. ALL CASEWORK TO BE CONSTRUCTED IN ACCORDANCE WITH BEST WRITTEN PRACTICES AS DEFINED BY AWMAC (ARCHITECTURAL WOODWORK

MANUFACTURERS ASSOCIATION OF CANADA), CURRENT EDITION 4.3. FURRING, BLOCKING, NAILING STRIPS, GROUNDS AND ROUGH BUCKS, SLEEPERS AND CONCEALED FRAMING TO BE SOFTWOOD LUMBER, POPLAR SPECIE 4.4. MELAMINE TFL PANELS, SHALL BE THICKNESS AS SHOWN ON DRAWINGS FINISHED TWO SIDES. THERMOSET MELAMINE PERMANENTLY BONDED TO

MEDIUM DENSITY PARTICLEBOARD. WHERE REQUIRED, LAMINATED COMPONENTS TO RECEIVE MATCHING PLASTIC LAMINATE. ALL EXPOSED EDGES TO RECEIVE COORDINATING 1MM EDGE BANDING. ACCEPTABLE PRODUCTS: TAFISA OR APPROVED EQUAL. CASEWORK FABRICATOR TO SUPPLY A MOCK UP SAMPLE OF APPLIED 1MM EDGE BANDING ON CORRESPONDING SUBSTRATE.

4.5. PLASTIC LAMINATE: TO CAN3-A172M, GRADES AS SPECIFIED. ONLY USE LAMINATE FROM ONE MANUFACTURER. HIGH PRESSURE LAMINATE; 1.2MM THICK; BASED ON STANDARD COLOUR RANGE, BY FORMICA, WILSONART, ARBORITE, OCTOLAM, NEVAMAR OR APPROVED EQUAL. 4.6. CASEWORK BODIES, ENDS. DIVISIONS AND BOTTOMS, TO BE MEDIUM DENSITY

FIBERBOARD (MDF) WITH ALL EXPOSED AND SEMI-EXPOSED SURFACES FACED WITH PLASTIC LAMINATE AS PER ELEVATIONS. THICKNESSES AS INDICATED UNLESS OTHERWISE RECOMMENDED BY AWMAC FOR EACH SPECIFIC APPLICATION.

4.7 CASEWORK DOORS AND DRAWER FRONTS AND DRAWER BOXES TO BE 19 MM THERMOSET MEI AMINE PERMANENTI Y BONDED TO MDE COMPLETE WITH MATCHING 1MM EDGE BANDING WITH ALL EXPOSED AND SEMI-EXPOSED SURFACES FACED WITH PLASTIC LAMINATE AS PER ELEVATIONS 4.8. HARDWARE

4.8.1. HINGE: TO CAN/CGSB-69.25-M, TYPE B01601, 125° OPENING, SELF-CLOSING, SCREW-ON BOSSES, REMOVABLE ARM, MOUNTING PLATE TO SUIT CONDITIONS. FINISH AS PER DRAWINGS: CLIP SYSTEM AS MANUFACTURED BY SALICE, BLUM, GRASS "TIOMOS" OR SERIES 4000 AS MANUFACTURED OR APPROVED EQUA 4.8.2. DOOR AND DRAWER PULLS: RICHELIEU AND ROCHELEAU PRODUCTS AS

NOTED OR APPROVED EQUAL. DRAWER SLIDES: ALL METAL, BALL BEARING CONSTRUCTION FULL EXTENSION MEDIUM DUTY ONE ON EACH SIDE OF DRAWER I ENGTH AS REQUIRED, ACCEPTABLE PRODUCT: ACCURIDE, BLUM OR APPROVED

4.8.4. SHELF HARDWARE - CABINETS: TO CAN/CGSB-69.25M, STEEL, ZINC FINISH, SEMI-RECESSED STANDARDS & BRACKETS. SEE SPECIFICATIONS ON CASEWORK DRAWINGS.

4.8.5. BUMPERS: RECESSED RUBBER TYPE. 4.8.6. ADHESIVE AND SEALANT PRODUCTS:

4.8.6.1. JOINT ADHESIVE: METHACRYLATE-BASED ADHESIVE FOR CHEMICALLY BONDING SOLID SURFACE SEAMING. COLOUR OMPLEMENTARY TO SOLID SURFACING SHEET MATERIAL. 2818 GREENGUARD GOLD CERTIFIED AND COMPLIES WITH SCAQMD RULE 1168.

4.8.6.2. ELASTOMERIC SEALANT: MILDEW-RESISTANT SILICONE SEALANT FOR FILLING GAPS BETWEEN COUNTERTOPS AND ERMINATING SUBSTRATES IN WET ENVIRONMENT APPLICATIONS: COMPLIES WITH ASTM C 920, TYPE S (SINGLE COMPONENT), GRADE NS (NONSAG.)

4.8.6.3. SILICONIZED ACRYLIC SEALANT: SILICONIZED ACRYLIC LATEX SEALANT, FOR GENERAL APPLICATIONS TO FILL GAPS BETWEEN COUNTERTOPS AND AT TERMINATING SUBSTRATES. COMPLIES WITH ASTM C 834, TYPE OP, GRADE NF, AND SCAQMD RULE 1168.

4.8.6.4. CONSTRUCTION ADHESIVE: COUNTERTOP MANUFACTURER'S RECOMMENDED SILICONE-BASED CONSTRUCTION ADHESIVE FOR BACKSPLASHES, ENDSPLASHES AND OTHER

APPLICATIONS ACCORDING TO MANUFACTURER'S PUBLISHED FABRICATION INSTRUCTIONS. 4.8.6.5. CURRENTLY FABRICATED TO BE CERTIFIED BY MANUFACTURER AS AN ACCEPTABLE FABRICATOR.

#### DIVISION 07, THERMAL & MOISTURE PROTECTION (SHOP DRAWINGS REQUIRED) BATT INSULATION

1.1. MINERAL FIBER INSULATION: PROCESSED FROM ROCK OR SLAG ACCEPTABLE MANUFACTURERS: ROXUL, ROCKWOOL, OR APPROVED EQUAL.

 1.1.1. RSI VALUE: AS INDICATED ON DRAWINGS. 1.1.2. THICKNESS: FILL CAVITY UNLESS NOTED OTHERWISE 1.2. FIRE BATT INSULATION: MINERAL FIBER INSULATION PROCESSED FROM ROCK OR SLAG WITH A MASS OF 2.8KG/M2 MIN. FOR 89MM THICKNESS. BATTS MUST FILL CAVITY THICKNESS ACCEPTABLE MANUFACTURERS: ROXUL, ROCKWOOL, OR

APPROVED EQUAL. 1.2.1. RSI VALUE: AS INDICATED ON DRAWINGS. 1.2.2. THICKNESS: FILL CAVITY UNLESS NOTED OTHERWISE.

2.1. FIRE RATED SEALANT: SINGLE COMPONENT NEUTRAL CURE. FLEXIBLE. SILICONE SEALANT. ACCEPTABLE PRODUCTS HILTI CP 601S ELASTOMERIC FIRESTOP. DAP FIRESTOP, 3M FIRE BARRIER 2000+ OR EQUAL, CLEAN OPENINGS AND INSTALL MINERAL WOOL FILLER AS REQUIRED PRIOR TO INSTALLATION PER

MANUFACTURERS RECOMMENDATIONS. 2.2. SILICONE ONE PART: MILDEW RESISTANT ACCEPTABLE PRODUCTS: TREMCO TREMSIL 200, DOW CORNING 786, DEGUSSA OMNIPLUS. SPRAY INSULATION - POLYURETHANE FOAM

3.1. PRODUCT TO BE CLOSED-CELL, SPRAY APPLIED RIGID POLYURETHANE FOAM OF MEDIUM DENSITY TO CAN/ULC-S70531 AND ASTM C 1029. TYPE 2. TWO COMPONENT. ZERO OZONE DEPLETION BLOWING AGENT. PROPERTIES AS FOLLOWS:

3.1.1. CORE DENSITY: MINIMUM 38.2 kg/m³ (2.4 POUND PER CUBIC FOOT)

3.1.2. COMPRESSIVE STRENGTH: 262 kPa (38 POUNDS PER SQUARE INCH) 3.1.3. TENSILE STRENGTH: 283 kPa (41 POUNDS PER SQUARE INCH)

3.1.4. OPEN CELL CONTENT BY VOLUME: MAX. 2%

3.1.5. WATER ABSORPTION: LESS THAN 0.6% BY VOLUME. DIMENSIONAL STABILITY: AGED 28 DAYS AT 70°C AT 97% RH PLUS/MINUS 3%: LESS THAN 12.1% BY VOLUME.

3.1.7. LONG TERM THERMAL RESISTANCE: MINIMUM RSI 1 PER 25MM 3.1.8. AIR PERMEANCE AT 35Mm THICKNESS: 0.0005 LITERS PER SECOND PER

3.1.9. SPECIFIC GRAVITY: DENOTE RANGE

3.1.10. MAXIMUM THICKNESS PER PASS: 50mm

3.1.11. SURFACE BURNING CHARACTERISTICS: TO CAN/ULC-S102. SMOKE DEVELOPED: 325.

3.1.12. SURFACE FLAME SPREAD RATING: TO CAN/ULC-S-127: 340 3.1.13. FUNGUS TESTING: TO ASTM C 1338 - NO GROWTH.

DOORS & HARDWARE: (SHOP DRAWINGS REQUIRED, REFER TO ID6.0)

1.1. HARDWARE: AS SPECIFIED ON DRAWINGS 1.2. SOLID CORE WOOD PAINT GRADE DOORS AS SCHEDULED: TO CAN/CSA-O132.2.1, SIZE TO SUIT DIMENSIONS INDICATED. 1.2.1. STILES AND RAILS: STRUCTURAL COMPOSITE LUMBER. ANTI-WARPING

FRAME BONDED TO PARTICLEBOARD CORE, FORMALDEHYDE FREE, FSC

1.2.3. FINISH: SEE DOOR SCHEDULE 1.2.4. FIELD PAINT DOORS AND FRAMES. PROVIDE FINAL FINISH FREE OF

SCRATCHES OR OTHER BLEMISHES. REINFORCING: FOR LOCKS, CLOSERS, EXIT DEVICES AND ANY OTHER HARDWARE ITEM REQUIRING SPECIAL BLOCKING. COORDINATE WITH OWNER SUPPLIED HARDWARE VENDOR AS REQUIRED.

1.2.2. SOLID PARTICLEBOARD CORE: MIN. 449 KG/M3 DENSITY, STILE AND RAIL

1.2.6. ACCEPTABLE MANUFACTURERS: LAMBTON, BAILLARGEON, BOCCAM OR

2. PRESSED STEEL FRAMES: (SHOP DRAWINGS REQUIRED, REFER TO ID6.0)

2.1. 16 GAUGE FACE SHEET THICKNESS, WELDED CONSTRUCTION. 2.2. MORTISED, BLANKED, REINFORCED, DRILLED AND TAPPED FOR HARDWARE PER TEMPLATES FROM HARDWARE SUPPLIER. NOTE FRAMES TO BE PREPPED FOR

HARDWARE. COORDINATE WITH OWNER SUPPLIED HARDWARE VENDOR AS

2.3. PREPARE FRAMES FOR SILENCERS. 3 SILENCERS FOR SINGLE DOORS ON STRIKE SIDE. 2.4. FIELD PAINT FINISH, DO NOT PAINT OVER FIRE RATED LABELS.

SET FRAMES, PLUMB, SQUARE AND LEVEL PER MANUFACTURERS INSTRUCTIONS WITH MAX 3MM DIAGONAL DISTORTION. 2.6. FULL LENGTH GLASS STOPS SHALL BE PROVIDED FOR PERIMETER OF ALL GLASS OPENINGS BY FRAME MANUFACTURER.

3.1. MATERIALS: TO CAN/CSA-A440-M98 SUPPLEMENTED AS FOLLOWS:

3.1.1. ALL FIXED WINDOWS BY SAME MANUFACTURER 3.1.2. EXTRUDED ALUMINUM: ALUMINUM ASSOCIATION ALLOY AA6063-T54. THICKNESS OF SECTIONS TO BE AS DESIGNED BY THE WINDOW MANUFACTURER TO SUPPORT REQUIRED LOADS.

3.1.3. ALUMINUM FRAMING FOR WINDOWS TO BE THERMAL BROKEN, EXTRUDED ALUMINUM FRAMING SYSTEM, TO SIZES AND SHAPES AS SHOWN ON DRAWINGS EXTRUSIONS TO BE FREE FROM DEFECTS IMPAIRING APPEARANCE, STRENGTH OR DURABILITY

3.1.4. ACCEPTABLE MATERIALS ARE "SERIES 80" BY ANOTEC. "518" BY KAWNEER. OR APPROVED EQUAL

COMPONENTS: STAINLESS STEEL, PLATED OR CORROSION RESISTANT MATERIAL OF SUFFICIENT STRENGTH TO PERFORM THE FUNCTIONS FOR WHICH THEY ARE INTENDED 3.1.6. THERMAL SEPARATOR TO BE HIGH DENSITY POLYURETHANE.

3.1.5. SCREWS, MISCELLANEOUS FASTENING DEVICES AND INTERNAL

3.2. PREFORMED COMPRESSIBLE AND NON-COMPRESSIBLE BACK-UP MATERIALS 3.2.1. POLYETHYLENE, URETHANE, NEOPRENE OR VINYL FOAM: 3.2.1.1. EXTRUDED CLOSES CELL FOAM BACKER ROD, COMPATIBLE WITH PRIMERS AND SEALANTS. 3.2.1.2. OVERSIZE 30 TO 50%.

3.2.1.3. NEOPRENE OR BUTLY RUBBER. 3.2.2. ROUND SOLID ROD. SHORE A HARDNESS 70.

3.3. HIGH DENSITY FOAM: 3.3.1. EXTRUDED CLOSED CELL POLYVINYL CHLORIDE (PVC), EXTRUDED POLYETHYLENE, CLOSED CELL, SHORE A HARDNESS 20, TENSILE STRENGTH 140 TO 200 KPA, EXTRUDED POLYOLEFIN FOAM, 32 KG/CU. METRE DENSITY, OR NEOPRENE BACKER, SIZE AS RECOMMENDED BY MANUFACTURER

3.3.2. BOND BREAKER TAPE: POLYETHYLENE BOND BREAKER TAPE WHICH WILL NOT BOND TO SEALANT. 3.3.3. SPRAYED-IN PLACE FOAM FILLER: MINIMAL EXPANDING. SINGLE

COMPONENT POLYLIRETHANE FOAM SEALANT, ENER 42 ENEREOAM BY "DOW" OR APPROVED EQUAL. 3.4. EXTERIOR ALUMINUM SILLS AND TRIMS 3.4.1. EXTRUDED ALUMINUM TYPE AND SIZE AS DETAILED, TO SUIT JOB

CONDITIONS, MINIMUM 2MM THICK, COMPLETE WITH ANCHORING DEVICES SILLS AND TRIM TO BE ONE PIECE FOR FULL WIDTH/HEIGHT OF

3.5. GLASS TO BE USED IN ALL EXTERIOR WINDOWS TO BE THEMATICALLY SEALED DOUBLE GLAZING UNITS. CONFORMING TO THE REQUIREMENTS OF CAN/CGSB-12.8-M90. 3.5.1. EXTERIOR LAYER OF 6MM CLEAR TEMPERED GLASS.

3.5.2. 12 MM AIR SPACE, ARGON FILLED, TEMPERED WITH COLOUR COATING 3.5.3. ACCEPTABLE MATERIALS ARE: "COMFORT ESN" BY AFGD GLASS

INC., "SUNGATE 100" BY PPG INDUSTRIES INC., OR APPROVED EQUAL 3.5.4. THE LAYERS OF GLASS ARE TO BE SEPARATED BY A MINIMUM 12 MM THICK ALUMINUM SPACER. SPACER TO BE FILLED WITH A DRYING AGENT. THE GLASS IS TO BE SEPARATED FORM THE ALUMINUM SPACER BY CONTINUOUS GLAZING TAPES TO PREVENT ALUMINUM TO GLASS CONTACT ALL SEALED UNITS ARE TO BE ARGON FILLED. ALL SEALED UNITS ARE TO BE DOUBLE SEALED AROUND THE ENTIRE PERIMETER. THESE UNITS ARE TO BE GUARANTEED AGAINST AIR INFILTRATION OR LOSS OF INSULATING CAPACITY FOR A PERIOD OF TEN

3.5.5. GLAZING MATERIALS TO BE IN ACCORDANCE WITH CAN/CSA-A440-M98. 3.6. INSTALL IN ACCORDANCE WITH CAN/CSA-A440-M98 AS FOLLOWS: 3.6.1. ARRANGE COMPONENTS TO PREVENT ABRUPT VARIATION IN COLOUR.

3.6.2. INSTALL WINDOWS IN THEIR CORRECT LOCATIONS AS SHOWN ON DETAILS, LEVEL, SQUARE, PLUMB, AT PROPER ELEVATIONS AND IN ALIGNMENT WITH OTHER WORK. SECURE MATERIALS IN PLACE USING MANUFACTURER'S CONCEALED ANCHORS AND FASTENERS AS REQUIRED. SEAL ALL JOINTS IN SUCH A MANNER TO PRODUCE A WEATHERTIGHT INSTALLATION

3.6.3. APPLY SPRAYED-IN FOAM IN SPACE BETWEEN WINDOW FRAME AND EXISTING WALL SYSTEM 3.6.4. INSTALL METAL SILL WHERE INDICATED ON DRAWINGS WITH UNIFORM WASH TO EXTERIOR, LEVEL IN LENGTH, STRAIGHT IN ALIGNMENT WITH PLUMB UPSTANDS AND FACES. USE ONE PIECE LENGTHS AT EACH LOCATION. SECURE SILLS IN PLACE WITH ANCHORING DEVICES

INSTALL ALLIMINUM ANODIZED ANGLE TRIMS AT EXTER AND SILL AS INDICATED ON DRAWINGS. USE ONE PIECE LENGTH AT EACH SIDE. SECURE WITH COUNTERSUNK TAMPERPROOF FLAT HEAD FASTENERS LOCATED AT ENDS AND EVENLY SPACED 600 MM O.C. MAX AS INDICATED ON DRAWINGS

LOCATED AT ENDS AND EVENLY SPACED 600 MM OC.

3.6.6. PATCH AND PAINT WINDOW WALL RETURN AT HEAD, SILL AND JAMBS WHERE EXISTING PAINT FINISH IS DAMAGED DURING WORK. 3.6.7. SEAL JOINTS BETWEEN FRAME MEMBERS AND OTHER NON-OPERATING

COMPONENTS WITH SEALANT TO PROVIDE WEATHERTIGHT SEAL OUTSIDE AND AIR, VAPOUR SEAL AT INSIDE.

3.6.8. SEAL JOINTS BETWEEN WINDOWS AND WINDOW SILLS WITH SEALANT. CAULK BETWEEN SILL UPSTAND AND WINDOW FRAME. SEAL JOINTS BETWEEN WINDOW UNIT AND EXISTING WALL SYSTEM, INSIDE AND OUT

DIVISION 09. FINISHES (SHOP DRAWINGS AND SAMPLES REQUIRED) PROVIDE A MINIMUM OF 2% ADDITIONAL MATERIAL FOR EACH FINISH TYPE FOR MAINTENANCE USE. PROVIDE ACCURATE QUANTITY LIST AT PROJECT CLOSEOUT. STORE IN AREA DIRECTED BY OWNER. MAINTENANCE MATERIAL TO BE OF SAME PRODUCTION RUN AS INSTALLED MATERIAL

 WALLS (STANDARD CONSTRUCTION): 1.1. NON-LOADBEARING CHANNEL STUD FRAMING: TO ASTM C645-83, STUD SIZE AS SHOWN ON DRAWINGS, ROLL FORMED FROM 0.53MM THICKNESS HOT DIPPED GALVANIZED STEEL SHEET, FOR SCREW ATTACHMENT OF GYPSUM BOARD.

KNOCK-OUT SERVICE HOLES AT 460 MM CENTERS 1.2. FLOOR AND CEILING TRACKS (NON-LOADBEARING): TO ASTM C645-83, IN WIDTHS TO SUIT STUD SIZES, 32 MM FLANGE. GYPSUM BOARD: TO ASTM C1396M.

THICKNESS AS INDICATED, 1200MM WIDE X MAXIMUM PRACTICAL LENGTH, ENDS SQUARE CUT, EDGES BEVELED, TAPED, FILLED AND SANDED WHERE NOTED. SQUARE EDGED C/W STUD AND S.A.T. CEILING TILE CLIPS FOR PARTITIONS AS NOTED. APPLY ONE COAT PRIMER AND MINIMUM TWO COATS PAINT TO

ACCEPTANCE OF OWNER (DTI). COLOURS AS SELECTED ON ID DRAWINGS. 2.2. REGULAR, AND FIRE RATED (TYPE X), ACCEPTABLE MANUFACTURERS: CGC, 2.3. MOISTURE AND MOLD RESISTANT PANELS IN WAHSROOMS, CUSTODIAL ROOMS.

ACCEPTABLE PRODUCT, DESNARMOR PLUS HIGH PERFORMANCE INTERIOR PANEL. OR APPROVED EQUAL.

3. FLOORING: (SHOP DRAWINGS REQUIRED, REFER TO ID3.0) 3.1. ALL FLOORING MATERIALS INCLUDING WALL BASE AS SPECIFIED IN DRAWINGS. 3.2. LUXURY VINYL TILE (LVT): 3.2.1. TO ASTM F1700.

> 3.2.2. WEAR LAYER: 22 MIL. 3.2.3. SLIP RESISTANCE: (ASTM D2047)>0.55 WET/DRY, ADA COMPLIANT. 3.2.4. FLOOR SURFACE(S) TO BE SMOOTH, LEVEL (MAX. VARIATION OF 3MM IN 3048MM) AND TRUE; PREP SURFACE(S) AS PER MANUFACTURER'S

INSTRUCTIONS. 3.2.5. ADHESIVE TO BE AS RECOMMENDED BY MANUFACTURER. 3.2.6. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS; INSTALL METHOD/DIRECTION TO BE AS ILLUSTRATED ON ID FINISH PLANS.

3.3. RUBBER WALL BASE

3.3.1. 100 MM HIGH, 3 MM THICK, COVED, COIL STOCK. 3.3.2. INCLUDE PREMOULDED END STOPS AND EXTERNAL CORNERS FOR COVED BASE ONLY.

3.3.3. LAY OUT BASE TO KEEP JOINTS TO A MININUM OR AT INERNAL OR PREMOULDED CORNERS. 3.4. TILE FLOORING AND WALL FINISH: 3.4.1. TILE WORK IN ACCORDANCE WITH "2006 SPECIFICATION GUIDE 09300 TILE

STRICT ACCORDANCE WITH ADHESIVE MANUFACTURER'S 3.4.2. LEVELLING BED: LATEX MODIFIED PORTLAND CEMENT BASED MORTAR

INSTALLATION MANUAL" BY TERRAZZO TILE AND MARBLE ASSOCIATION

OF CANADA (TTMAC), EXCEPT WHERE SPECIFIED OTHERWISE AND IN

BED. TO TTMAC STANDARD.C 3.4.3. CERAMIC TILE FLOOR AND BASE: CAN/CGSB\_75.1, M88, MANUFACTURER, MODEL, COLOURS AND SIZES AS INDICATED ON ID DRAWINGS.

3.4.4. THIN SET MORTAR (INTERIOR CONCRETE AND PLYWOOD FLOOR 3.4.4.1. VITREOUS & PORCELAIN TILES: MAPEI, KERABOND WITH KERALASTIC, OR APPROVED EQUAL 3.4.5. ADHESIVE BOND COAT (CONCRETE, BLOCK WALLS AND BASES):

3.4.5.1. VITREOUS & PORCELAIN TILES: MAPEI, WHITE KERABOND WITH KERALASTIC, OR APPROVED EQUAL. 3.4.6. ADHESIVE BOND COAT (CEMENTITIOUS BACKER BOARD WALLS): 3.4.6.1. VITREOUS: MAPEI, WHITE KERABOND WITH PLANICRETE 50, OR

3.4.7. GROUT: LATEX MODIFIED. CONTAINING INORGANIC NON-FADING NON-STAINING, LIME-PROOF PIGMENTS, MANUFACTURER AND COLOURS AS INDICATED ON ID DRAWINGS 3.4.8. LAY FLOOR TILES, OVER LEVELING BED, IN THIN SET MORTAR. 3.4.9. LAY WALL TILES AND BASES WITH THIN SET MORTAR TO TTMAC DETAIL

3.4.10. MAXIMUM INSTALLED SURFACE TOLERANCE FROM DEAD FLAT IS 3MM IN

3048MM MEASURED IN ANY DIRECTION.

3.4.11. SPREAD MORTAR USING TROWEL OF RECOMMENDED SIZE AND AT A RATE RECOMMENDED BY THE MANUFACTURER.

3.4.12. GROUT TILE ONLY WHEN INSTALLATION MORTAR IS COMPLETELY

HARDENED 3.4.13. IMMEDIATELY CLEAN CURED CERAMIC TILE SURFACES AND GROUTING 3.4.14. AFTER INSTALLATION WITH MANUFACTURER RECOMMENDED CLEANER

AND INSTRUCTIONS. 3.4.15. ALL FLOOR TILE TO SLOPE TOWARD FLOOR DRAINS AS REQUIRED. 4. CEILINGS: (SHOP DRAWINGS REQUIRED)

4.2.1. STRUCTURAL CLASSIFICATION: ASTM C 635 HEAVY DUTY.

4.1. ALL CEILING MATERIALS PER SPECIFIED IN ID DRAWINGS 4.2. SUSPENSION SYSTEM: COMPONENTS: ALL MAIN BEAMS, WALL ANGLES AND CROSS TEES SHALL BE COMMERCIAL QUALITY HOT-DIPPED GALVANIZED STEEL AS PER ASTM A 653.

4.2.2. ACCEPTABLE PRODUCTS: PRELUDE BY ARMSTRONG, DX / DXL BY USG DONN OR APPROVED FOLIAL 4.2.3. WIRE FOR HANGERS AND TIES: ASTM A 641, CLASS 1 2.6 Ø ZINC OR GALVANIZED COATING, SOFT TEMPER, PRE-STRETCHED, WITH A YIELD

STRESS LOAD OF AT LEAST TIME THREE DESIGN LOAD, BUT NOT LESS THAN 12 GAUGE. 4.2.4. EDGE MOLDINGS AND TRIM: METAL OR EXTRUDED ALUMINUM OF TYPES AND PROFILES INDICATED OR. IF NOT INDICATED. MANUFACTURER'S STANDARD MOLDINGS FOR EDGES AND PENETRATIONS, INCLUDING LIGHT FIXTURES, THAT FIT TYPE OF EDGE DETAIL AND SUSPENSION

SYSTEM INDICATED. PROVIDE MOLDINGS WITH EXPOSED FLANGE OF THE SAME WIDTH AS EXPOSED RUNNER. 4.2.5. PREPARATION: MEASURE EACH CEILING AREA AND ESTABLISH LAYOUT OF ACOUSTICAL UNITS TO BALANCE BORDER WIDTHS AT OPPOSITE EDGES OF EACH CEILING. AVOID USE OF LESS THAN HALF WIDTH UNITS AT BORDERS AND COMPLY WITH REFLECTED CEILING PLANS. COORDINATE PANEL LAYOUT WITH MECHANICAL AND ELECTRICAL

4.2.6. INSTALLATION: COMPLY WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS, INCLUDING PRODUCT TECHNICAL BULLETINS, PRODUCT CATALOGUE INSTALLATION INSTRUCTIONS. PRODUCT CARTON INSTALLATION INSTRUCTIONS, AND DATA SHEETS. DO NOT ERECT CEILING SUSPENSION SYSTEM UNTIL WORK ABOVE CEILING HAS BEEN INSPECTED AND APPROVED BY DTI REPRESENTATIVE. SECURE HANGERS TO OVERHEAD STRUCTURE SPACED AT MAXIMUM 4'-0" CENTRES AND WITHIN 6" FROM ENDS OF MAIN TEES. LAY OUT GRID SYSTEM ACCORDING TO REFLECTED CEILING PLAN. COMPLETED SUSPENSION SYSTEM TO SUPPORT SUPER-IMPOSED LOADS, SUCH AS LIGHTING FIXTURES, DIFFUSERS, GRILLES AND SPEAKERS. SUPPORT AT LIGHT FIXTURES, DIFFUSERS WITH ADDITIONAL CEILING SUSPENSION HANGERS WITHIN 6" OF EACH CORNER AND AT MAXIMUM 2'-0" AROUND PERIMETER OF FIXTURE. INTERLOCK OR ATTACH CROSS MEMBER TO MAIN RUNNER TO PROVIDE RIGID ASSEMBLY. FINISHED CEILING SYSTEM TO BE SQUARE WITH ADJOINING WALLS AND LEVEL WITHIN 1:1000 NEW SUSPENDED ACOUSTIC 610 X 1220 AND 610 X 610 SUPPLIED BY OWNER

AND INSTALLED IN THIS CONTRACT BY GENERAL. 4.3. GYPSUM BOARD CEILING: 19MM GYPSUM BOARD PER SPEC ON 92MM STEEL STUDS PER GYPSUM TO BE TAPED, CRACKFILLED, SANDED AND PAINTED. COORDINATE WITH MECHANICAL AND ELECTRICAL FOR DIFFUSER, GRILLE,

SPRINKLER AND LIGHT LOCATIONS. 5. PAINT PRODUCTS: (SUPPLY COLOUR SAMPLES FOR DESIGNER APPROVAL) 5.1 ONLY MATERIALS (PRIMERS PAINTS COATINGS VARNISHES STAINS LACQUERS, FILLERS, ETC.) LISTED IN THE LATEST EDITION OF THE MPI APPROVED PRODUCT LIST (APL) ARE ACCEPTABLE FOR USE ON THIS PROJECT ALL SUCH MATERIAL SHALL BE FROM A SINGLE MANUFACTURER FOR EACH

SYSTEM USED. 5.2. WHERE REQUIRED, USE ONLY MATERIALS HAVING A MINIMUM MPI "ENVIRONMENTALLY FRIENDLY" E3 RATING BASED ON VOC (EPA METHOD 24) CONTENT LEVELS. WHERE INDOOR AIR QUALITY (ODOUR) IS AN ISSUE. USE ONLY MPI LISTED MATERIALS HAVING A MINIMUM E3 RATING. 5.3. UNLESS OTHERWISE SPECIFIED HEREIN OR PRE-APPROVED, ALL PAINT SHALL BE READY-MIXED AND PRE-TINTED. RE-MIX ALL PAINT IN CONTAINERS PRIOR TO AND DURING APPLICATION TO ENSURE BREAK-UP OF LUMPS, COMPLETE DISPERSION OF SETTLED PIGMENT. AND COLOUR AND GLOSS UNIFORMITY

MANUFACTURER'S RECOMMENDATIONS. 5.4. UNLESS OTHERWISE NOTED, ALL PAINTING WORK SHALL BE IN ACCORDANCE WITH MPI PREMIUM GRADE FINISH REQUIREMENTS.

WHERE THINNER IS USED, ADDITION SHALL NOT EXCEED PAINT

5.5. GLOSS LEVEL RATINGS OF ALL PAINTED SURFACES SHALL BE AS NOTED ON FINISH SCHEDULE. REFER TO MPI PAINTING MANUAL FOR GLOSS LEVEL DEFINITIONS AND REQUIREMENTS. 5.6. THE CONDITION AND PREPARATION REQUIREMENTS FOR ALL SURFACES SHALL BE IN ACCORDANCE WITH MPI PAINTING MANUAL REQUIREMENTS.

5.7. DO NOT PAINT UNLESS SUBSTRATES ARE ACCEPTABLE AND/OR UNTIL ALL ENVIRONMENTAL CONDITIONS (HEATING, VENTILATION, LIGHTING AND COMPLETION OF OTHER SUBTRADE WORK) ARE ACCEPTABLE FOR APPLICATIONS OF PRODUCTS.

5.8. APPLY PAINT OR STAIN IN ACCORDANCE WITH NOTED MPI FINISH GRADE REQUIREMENTS. 5.9 PAINTING COATS SPECIFIED ARE INTENDED TO COVER SURFACES. SATISFACTORII Y WHEN APPLIED AT PROPER CONSISTENCY AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. APPLY A MINIMUM OF ONE (1) PRIMER COAT AND TWO (2) TOP COATS AND MINIMUM OF FOUR (4) COATS WHERE DEEP OR BRIGHT COLORS ARE USED. SATISFACTORY RESULTS ARE AT THE DISCRETION OF OWNER'S REPRESENTATIVE

6. STAIN PRODUCTS: (SUPPLY STAIN SAMPLES ON SPECIFIED WOOD FOR DESIGNER 6.5. ONLY MATERIALS (PRIMERS, PAINTS, COATINGS, VARNISHES, STAINS LACQUERS, FILLERS, ETC.) LISTED IN THE LATEST EDITION OF THE MPI APPROVED PRODUCT LIST (APL) ARE ACCEPTABLE FOR USE ON THIS PROJECT.

<u>DIVISION 10, SPECIALTIES</u> (SHOP DRAWINGS REQUIRED)

WASHROOM ACCESSORIES: (SHOP DRAWINGS REQUIRED, REFER TO ID5.0 FOR ALL 1.1. PRODUCT

1.1.1. ACCEPTABLE PRODUCTS BY BOBRICK, FROST OR APPROVED EQUAL. 1.1.2. PROVIDE REINFORCING, FASTENINGS, AND ANCHORAGE REQUIRED. 1.1.3. INSULATE BETWEEN DISSIMILAR METALS, AND METAL AND INCOMPATIBLE MATERIALS TO PREVENT ELECTROLYSIS WITH

ALL SUCH MATERIAL SHALL BE FROM A SINGLE MANUFACTURER FOR EACH

BITUMINOUS PAINT OR OTHER APPROVED MEANS. 1.1.4. DO NOT ATTACH MANUFACTURER'S NAME OR TRADEMARK, PLATES, IMPRINTS OR LABELS TO PRODUCTS UNLESS APPROVED BY OWNER.

1.2. EXECUTION 1.2.1. SECURELY FASTEN WORK LEVEL AND PLUMB IN THE LOCATIONS SHOWN ON THE DRAWINGS. 1.2.2. COORDINATE INSTALLATION WITH THE WORK OF SECTIONS PROVIDING

ADJACENT CONSTRUCTION AS REQUIRED 1.2.3. EXECUTE ELECTRICAL WORK BY QUALIFIED ELECTRICIANS AND IN COMPLIANCE WITH THE CANADIAN ELECTRICAL CODE AND OTHER

1.2.5. TEST OPERATION, ADJUST, LUBRICATE AND ENSURE THAT

REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. 1.2.4. UPON COMPLETION OF THE WORK OR WHEN DIRECTED, REMOVE ALL TRACES OF PROTECTIVE COATINGS OR PAPER.

ACCESSORIES ARE IN PERFECT WORKING ORDER. 2. TOILET PARTITIONS: (SHOP DRAWINGS REQUIRED, REFER TO ID5.0) 2.1. PRODUCT. 2.1.1. PANELS AND STILES: 13MM THICK, SOLIDLY FUSED PLASTIC LAMINATE WITH MATTE-FINISH MELAMINE SURFACES, COLORED FACE SHEETS,

AND BLACK PHENOLIC-RESIN CORE THAT ARE INTEGRALLY BONDED. EDGES ARE BLACK. 2.1.2. DOORS: 19MM THICK, SOLIDLY FUSED PLASTIC LAMINATE WITH MATTE-FINISH MELAMINE SURFACES, COLORED FACE SHEETS, AND BLACK PHENOLIC-RESIN CORE THAT ARE INTEGRALLY BONDED. EDGES

2.1.3. LEVELING DEVICES: 5MM THICK, CORROSION-RESISTANT, CHROMATE-TREATED, DOUBLE ZINC-PLATED STEEL ANGLE LEVELING BAR BOLTED TO STILE; FURNISHED WITH 3/8" (10MM) DIAMETER THREADED RODS, HEX NUTS, LOCK WASHERS, FLAT WASHERS, SPACER SLEEVES, EXPANSION ANCHORS, AND SHOE RETAINERS.

2.1.4. HEADRAILS: EXTRUDED ANODIZED ALUMINUM WITH SATIN FINISH. ENCLOSED CONSTRUCTION WITH SLOPING TOP. FACE HAS RAISED GRIP-RESISTANT EDGE. 2.1.5. STANDARD COMMERCIAL HARDWARE TO BE INCLUDED, INCLUDING

HINGES, DOOR LATCH, DOOR KEEPERS, CLOTHES HOOKS, MOUNTING BRACKETS AND DOOR HANDLES. 2.1.6. BOBRICK DURALINE SERIES 1082 AND 1088 AS INDICATED ON DRAWINGS; ACCEPTABLE ALTERNATES BY FROST, ASI OR BRADLEY TO BE

SUBMITTED FOR REVIEW BY DESIGNER.

2.1.7. PROVIDE REINFORCING, FASTENINGS, AND ANCHORAGE REQUIRED. 2.1.8. INSULATE BETWEEN DISSIMILAR METALS, AND METAL AND INCOMPATIBLE MATERIALS TO PREVENT ELECTROLYSIS WITH BITUMINOUS PAINT OR OTHER APPROVED MEANS. 2.1.9. DO NOT ATTACH MANUFACTURER'S NAME OR TRADEMARK, PLATES,

IMPRINTS OR LABELS TO PRODUCTS UNLESS APPROVED BY OWNER. 2.2.1. SECURELY FASTEN WORK LEVEL AND PLUMB IN THE LOCATIONS SHOWN ON THE DRAWINGS.

2.2.2. COORDINATE INSTALLATION WITH THE WORK OF SECTIONS PROVIDING ADJACENT CONSTRUCTION AS REQUIRED 2.2.3. UPON COMPLETION OF THE WORK OR WHEN DIRECTED, REMOVE ALL

2.2.4. TEST OPERATION, ADJUST, LUBRICATE AND ENSURE THAT ACCESSORIES ARE IN PERFECT WORKING ORDER. 6. FRAMELESS MIRROR: 6MM LOW-IRON, ULTRA CLEAR, WITH POLISHED EDGES. INSTALL USING J-TRIMS (TOP & BOTTOM) AND ADHESIVE AS NECESSARY.

TRACES OF PROTECTIVE COATINGS OR PAPER.

**END OF SPECIFICATIONS** 

INTERIOR DESIGN : COMMERCIAL LIVING: WORKPLACE STRATEGY **BUILDINGS**: PROJECT MANAG

CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# CONSULTANTS:

ARCHITECT: INTERIOR DESIGN: TOSS SOLUTIONS MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

#### DRAWING LIST:

ID0.0 GENERAL LEGENDS & KEY PLAN

ID1.0 DEMOLITION PLAN & FLOOR PLAN ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW

ID3.0 FINISHES PLAN & SCHEDULE ID4.0 INTERIOR ELEVATIONS ID4.1 CASEWORK SECTIONS, NOTES & HARDWARE ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

ID7.0 INTERIOR SPECIFICATIONS

M1.0 PLUMBING M2.0 VENTILATION M3.0 SPECIFICATIONS

E1.0 DEMOLITION AND NEW POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT

E3.0 ELECTRICAL SPECIFICATIONS

| SUBM | IISSIONS |           |           |              |    |
|------|----------|-----------|-----------|--------------|----|
|      |          | D D       |           |              |    |
|      |          | Drawn By: |           | Approved By: |    |
|      |          | Drawn By: |           | Approved By: |    |
|      |          |           |           | •            |    |
|      |          | Drawn By: |           | Approved By: |    |
|      |          |           |           |              |    |
|      |          | Drawn By: |           | Approved By: |    |
|      |          |           | -         |              |    |
|      |          | Drawn By: |           | Approved By: |    |
| 0    | JULY 14, |           | ISSUED FO | R TENDER     |    |
| U    | 2023     | Drawn By: | MC        | Approved By: | ВВ |
| REV. | DATE     | ISSUE     |           |              |    |

DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, O RODUCED IN ANY FORMAT. WHETHER PRINT OR ELECTRONIC. WITHOUT THE EXPRES:

# PROFESSIONAL SEAL



**PROJECT NAME:** 

LIVING QUARTERS FIRE STATION NO.

SAINT JOHN, NB, E2L 1H9

45 LEINSTER STREET

DRAWING TITLE: INTERIOR SPECIFICATIONS

| 22-09 (509)           | JUNE 2023   |
|-----------------------|-------------|
| DWG. SCALE:<br>N.T.S. | PLOT SCALE: |
| DWG. NO:              | REV. NO     |

## **PAINTS**

Accent Paint & Select Doors
AF-690, Metropolitan

Accent Paint
CW-590 Williamsburg Wythe



# **DORMITORY**





**Reading Lamp,**WAC Lighting, Sprig
Brushed Nickel











## **WASHROOM**



Vanity Lighting, Washroom 204



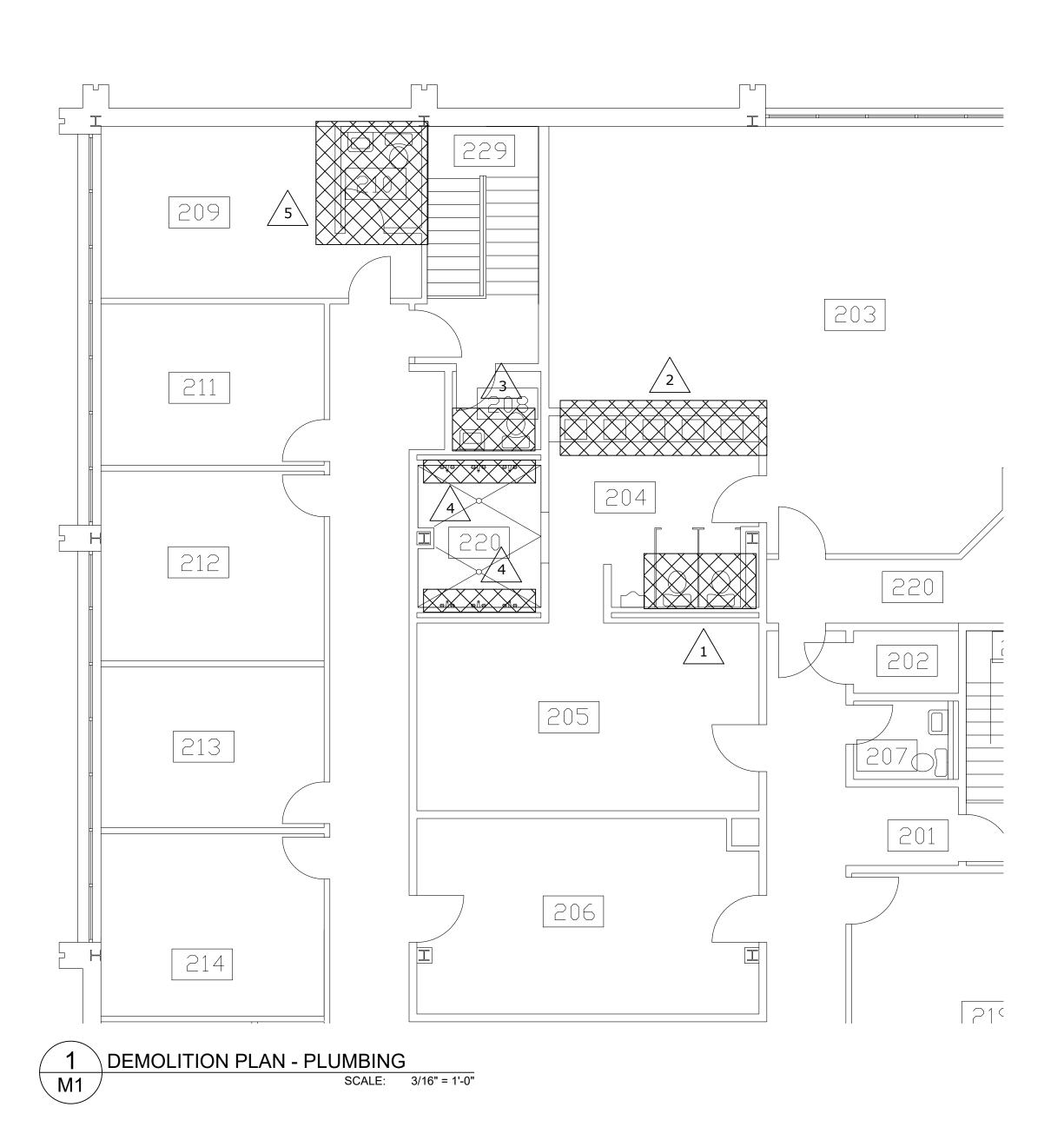
Wall Tile Field,
Washrooms & Showers
Show











|   | KEY NOTES - DEMOLITION  |
|---|---|
|   | EXISTING WATER CLOSETS LOCATED IN WASHROOM 204 SHALL BE REMOVED. CONTRACTOR SHALL REMOVE DOMESTIC COLD WATER LINES BACK TO SHUT-OFF VALVE. CONTRACTOR SHALL REMOVE EXISTING TOILET FLANGE AND PROVIDE TEMPORARY BLOCKAGE FOR SANITARY DRAIN. EXISTING ELONGATED WATER CLOSET TO BE RELOCATED TO WASHROOM 210. CONTRACTOR TO CONFIRM TOILET FLANGE LOCATION IN WASHROOM 210 TO ENSURE THERE IS ADEQUATE SPACE. |
| 2 | EXISTING LAVATORIES IN WASHROOM 204 SHALL BE REMOVED AND DISPOSED OF. CONTRACTOR SHALL REMOVE DOMESTIC HOT AND COLD WATER LINES BACK TO SHUT-OFF VALVE. REMOVE SANITARY DRAIN BACK TO TRAP ARM CONNECTION WITHIN THE WALL SPACE TO ALLOW FOR RECONNECTION. DOMESTIC WATER AND SANITARY PIPING THAT WILL NOT BE RE-USED SHALL BE SEALED AND CAPPED WITHIN THE WALL OR FLOOR SPACE.                             |
| 3 | EXISTING LAVATORY AND ELONGATED WATER CLOSET TO REMAIN. LAVATORY TRIM TO BE REMOVED.  |
| 4 | ALL EXISTING SHOWER HEADS AND VALVES TO BE REMOVED AND DISPOSED OF. DOMESTIC HOT AND COLD PIPING FOR SHOWER VALVE AND SHOWER HEAD ARE TO BE RE-USED FOR TWO (2) NEW SHOWER HEADS (REFER TO NEW CONSTRUCTION PLAN). ALL OTHER DOMESTIC HOT AND COLD WATER LINES ARE TO BE CAPPED AND SEALED.   |
| 5 | EXISTING WATER CLOSET AND SHOWER LOCATED IN WASHROOM 210 SHALL BE REMOVED AND DISPOSED OF. CONTRACTOR SHALL REMOVE EXISTING TOILET FLANGE AND PROVIDE TEMPORARY BLOCKAGE FOR SANITARY DRAIN. CONTRACTOR TO REMOVE DOMESTIC HOT AND COLD WATER LINES FOR SHOWER BACK TO BRANCH TAKE-OFF WITHIN WALL OR FLOOR SPACE. EXISTING LAVATORY TO REMAIN. LAVATORY TRIM TO BE REMOVED.                                  |

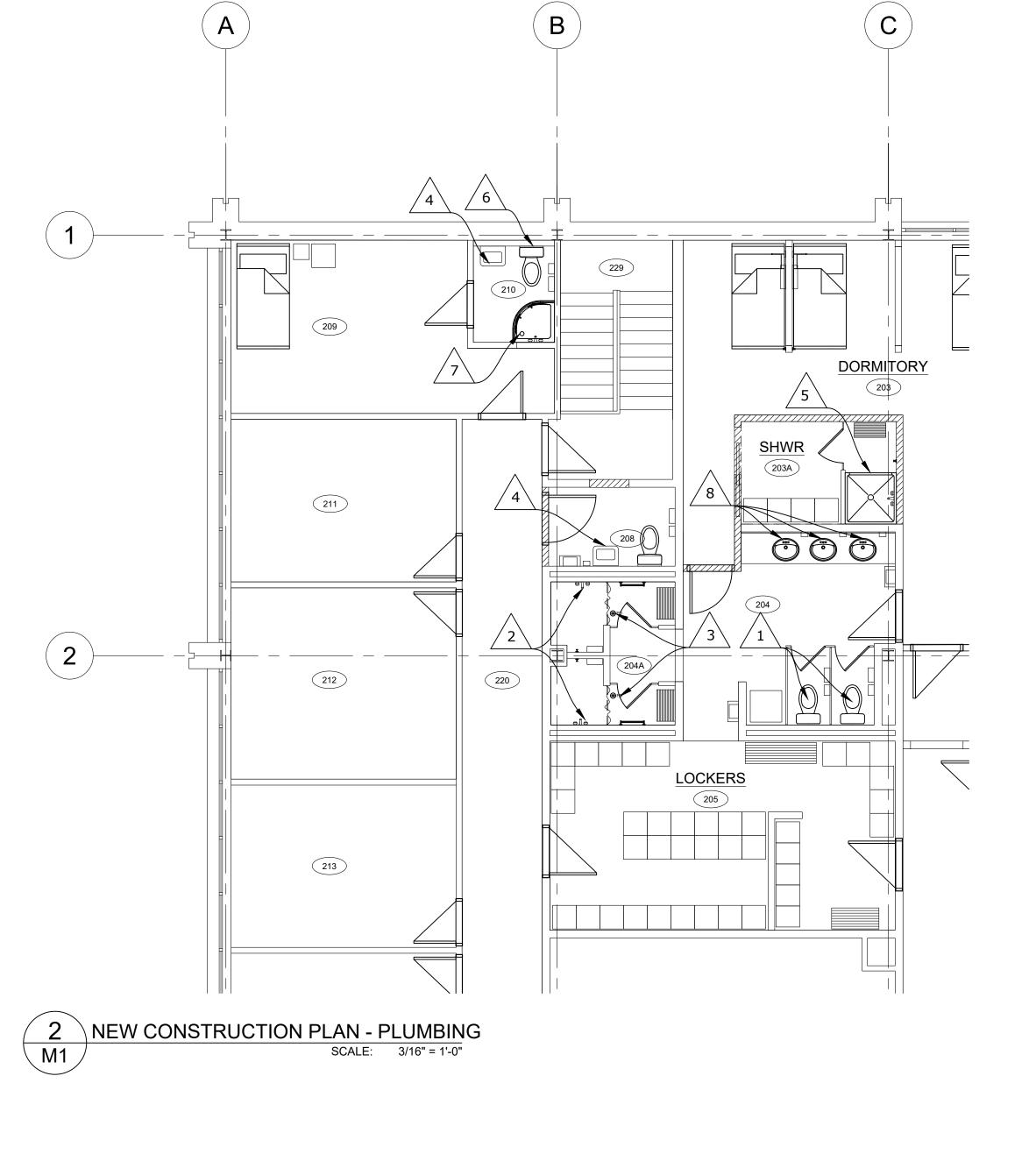
# **GENERAL NOTES: DEMOLITION**

CAPPED.

- 1. PROVIDE ALL LABOR, TOOLS AND MATERIALS TO REMOVE ALL EXISTING PLUMBING FIXTURES, PLUMBING APPLIANCES, PIPING, HANGERS ETC. AS INDICATED ON THE DEMOLITION PLAN AND KEY NOTES.
- 2. UNLESS OTHERWISE NOTED, REMOVE REDUNDANT SANITARY SERVICES BACK TO CONNECTION MAIN. VALVE, CAP AND SEAL REDUNDANT BRANCH TAKE-OFFS. MAIN SANITARY SERVICE LINES SHALL REMAIN FUNCTIONAL THROUGHOUT CONSTRUCTION. 3. UNLESS OTHERWISE NOTED, REMOVE EXISTING

REDUNDANT DOMESTIC WATER LINES BACK TO

CONNECTION OF WATER MAIN. TAKE-OFF TO BE



# **KEY NOTES - NEW CONSTRUCTION**

AND DOMESTIC WATER CONNECTION, INCLUDING NEW SHUT-OFF VALVE AND STAINLESS STEEL

CONTRACTOR TO PROVIDE NEW SHOWER HEAD AND VALVE FOR NEW SHOWERS. SHOWERS SHALL BE DELTA MODEL T14289-PR C/W R10000 SHOWER VALVE, OR APPROVED EQUAL.

CONTRACTOR TO PROVIDE NEW FLOOR DRAIN GRATE TO REPLACE EXISTING. CONFIRM EXISTING GRATE DIAMETER. STANDARD OF ACCEPTANCE: ZURN OR APPROVED ALTERNATE.

CONTRACTOR TO INSTALL NEW LAVATORY TRIM TO REPLACE EXISTING. LAVATORY TRIM SHALL BE COLONY PRO FAUCET MODEL 7075.200.002

CONTRACTOR TO PROVIDE NEW 1/2"Ø HOT AND COLD DOMESTIC WATER LINES, AND 2"Ø SANITARY DRAINAGE FOR NEW SHOWER. CONFIRM EXACT LOCATION OF CONNECTION POINT ON SITE. SHOWER SHALL BE MAAX MODEL CAMELIA SH-3636 OR APPROVED EQUAL. SHOWER HEAD AND VALVE SHALL BE DELTA MODEL T14289-PR C/W R10000 SHOWER VALVE. PROVIDE 12"X12" ACCESS HATCH MODEL CENTREX AHD. ACCESS HATCH TO BE PRIMED FROM MANUFACTURER. LOCATE HATCH ON DEMISING WALL BEHIND SHOWER VALVE.

CONTRACTOR TO INSTALL RELOCATED WATER CLOSET TO REPLACE EXISTING. PROVIDE NEW TOILET FLANGE AND DOMESTIC WATER CONNECTION, INCLUDING NEW SHUT-OFF VALVE AND STAINLESS STEEL

CONTRACTOR TO PROVIDE NEW 1/2"Ø HOT AND COLD DOMESTIC WATER LINES FOR NEW SHOWER. COORDINATE EXISTING DRAIN LOCATION WITH NEW SHOWER BASE. CONFIRM EXACT LOCATION OF CONNECTION POINT ON SITE. SHOWER SHALL BE MAAX MODEL RADIA 3232 OR APPROVED EQUAL. SHOWER HEAD AND VALVE SHALL BE DELTA MODEL T14289-PR C/W R10000 SHOWER VALVE. PROVIDE 12"X12" ACCESS HATCH MODEL CENTREX AHD. ACCESS HATCH TO BE PRIMED FROM MANUFACTURER. LOCATE HATCH ON DEMISING WALL BEHIND SHOWER VALVE.

CONTRACTOR TO INSTALL NEW LAVATORIES TO REPLACE EXISTING. PROVIDE NEW DOMESTIC HOT AND COLD WATER BRAIDED SUPPLY LINES, SHUT-OFF VALVES, STAINLESS STEEL P-TRAP AND TRAP ARM. LAVATORY SHALL BE AMERICAN STANDARD CADET MODEL 0419.444EC C/W 4" FAUCET HOLES, COLOR WHITE, COLONY PRO FAUCET MODEL 7075.200.002

CONTRACTOR TO INSTALL NEW WATER CLOSETS TO REPLACE EXISTING. PROVIDE NEW TOILET FLANGE BRAIDED SUPPLY LINE. WATER CLOSET SHALL BE AMERICAN STANDARD CADET MODEL 215CB.104 WITH ELONGATED BOWL, OPEN FRONT SEAT WITHOUT COVER, COLOR WHITE (OR APPROVED ALTERNATE).

BARRIER-FREE WATER SHOWER FAUCET

DESCRIPTION

BARRIER-FREE LAVATORY

GENERAL NOTES: PLUMBING THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL LOCATIONS FOR PLUMBING FIXTURES AND EQUIPMENT PIPING CONNECTIONS. THIS CONTRACTOR SHALL VERIFY ALL EQUIPMENT AND FIXTURE LOCATIONS ON SITE PRIOR TO INSTALLATION. USE MANUFACTURER'S SPECS AND TEMPLATES FOR ALL PIPING CONNECTIONS TO PLUMBING FIXTURES AND EQUIPMENT PER SCHEDULE.

THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEMS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ALL APPLICABLE CODES AND STANDARDS.

ALL VENT PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CANADIAN PLUMBING CODE. THIS CONTRACTOR SHALL SUBMIT TO THE LOCAL AUTHORITY HAVING JURISDICTION FOR REVIEW OF THE PROPOSED VENT PIPING AND STACK RISER ARRANGEMENTS. THE LOCAL AUTHORITY HAVING JURISDICTION SHALL APPROVE PRIOR TO INSTALLATION. CONNECT NEW PLUMBING VENT TO EXISTING VENT TERMINAL WHERE POSSIBLE.

THIS CONTRACTOR SHALL PROVIDE ALL LABOUR, MATERIALS, TOOLS, ETC. REQUIRED FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEMS AS SHOWN.

THIS CONTRACTOR SHALL PROVIDE ALL REQUIRED CLEARANCES AS RECOMMENDED BY MANUFACTURER TO ALLOW FOR PROPER OPERATION AND SERVICING OF ALL MECHANICAL EQUIPMENT.

THIS CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR CONNECTION OF SANITARY DRAINS TO EXISTING SERVICES TO PROVIDE FOR OPERATIONAL PLUMBING SYSTEMS.

ALL PENETRATIONS THROUGH ROOF AND/OR FLOOR SLAB SHALL BE WEATHER-TIGHT AND SEALED WITH WATERPROOF GROUTING COMPOUND, ALL ROOF WORK TO BE DONE BY LANDLORD'S ROOFING CONTRACTOR.

ALL PIPING SHALL BE RUN CONCEALED IN WALLS, CEILING, BULKHEADS, WITHIN JOIST SPACE, AND FURRED OUT PIPE CHASES UNLESS OTHERWISE INDICATED.

ALL PIPING SHALL BE PROPERLY SUPPORTED WITH PROPER PIPE HANGERS SECURELY ATTACHED TO THE BUILDING STRUCTURE AS PER LANDLORD'S STANDARDS.

VALVES AND UNIONS SHALL BE INSTALLED AS NECESSARY TO ALLOW FOR ISOLATION AND SERVING OF MECHANICAL EQUIPMENT. PROVIDE ACCESSIBLE ISOLATION VALVES FOR DOMESTIC SUPPLY PIPING TO ALL PLUMBING FIXTURES. PROVIDE LOCATION IDENTIFICATION FOR ALL CONCEALED VALVES.

THIS CONTRACTOR SHALL CONDUCT A SITE SURVEY TO VERIFY ALL LOCATIONS ON SITE PRIOR TO INSTALLATION AND MODIFICATIONS AND TO DETERMINE THE EXTENT OF SYSTEM ALTERATIONS. ALL SITE VISITS TO BE COORDINATED WITH LANDLORD.

ALL PENETRATIONS THROUGH FIRE RATED SEPARATIONS SHALL BE SEALED WITH AN APPROVED FIRE STOPPING TO MAINTAIN THE INTEGRITY AND RATING OF THE ASSEMBLY AND INSTALLED IN ACCORDANCE WITH NFPA.

PROVIDE TRAP SEAL PRIMERS TO PRIME ALL UNDERSLAB TRAPS, FLOOR DRAINS, AND FUNNEL FLOOR DRAINS.

GROUP 1/2"Ø TRAP SEAL PRIMER LINES AT CENTRAL LOCATIONS FOR CONNECTION TO TRAP SEAL PRIMER MANIFOLD OR DISTRIBUTION UNIT. ENSURE THAT TRAP PRIMER LINES ARE STUBBED UP ABOVE FLOOR AND NOT INSIDE FIRE RATED WALLS.

PLUMBING CONTRACTOR SHALL FIELD COORDINATE EXACT PIPE ROUTING WITH ALL CONSTRUCTION TRADES PRIOR TO INSTALLATION.

ALL PIPING SHALL BE INSTALLED ABOVE THE BOTTOM CHORD OF JOISTS THROUGHOUT THE SPACE, ALL PLUMBING FIXTURES WATER SUPPLY PIPING SHALL BE VALVED AT SUPPLY BRANCH. BRANCH SHUT-OFF VALVES SHALL BE INSTALLED NO HIGHER THAN 12 INCH ABOVE CEILING TO BE ACCESSIBLE FOR MAINTENANCE PURPOSES. PROVIDE ACCESS PANELS AS NEEDED.

COORDINATE WATER LINES WITH ELECTRICAL CONTRACTOR, PIPING SHALL NOT BE ROUTED OVER ELECTRICAL PANELS, EQUIPMENT OR CLEAR WORKING SPACE.

CONTRACTOR SHALL INSTALL ALL NECESSARY WALL AND/OR FLOOR CLEANOUTS TO BE ACCESSIBLE FOR MAINTENANCE PURPOSES. CONTRACTOR SHALL COORDINATE EXACT LOCATION WITH LATEST FIXTURE PLANS PRIOR TO STARTING ANY WORK. PROVIDE ACCESS DOORS WHERE REQUIRED.

UNDERSLAB HORIZONTAL CONNECTIONS OF VENT PIPING TO WASTE SEWER SYSTEM SHALL NOT BE ALLOWED, CONTRACTOR SHALL INSTALL WASTE AND VENT PIPING AS REQUIRED PER APPLICABLE CODES.

ON COMPLETION OF PROJECT, SUBMIT THREE (3) HARD COVER "OPERATING AND MAINTENANCE MANUALS" FOR APPROVAL. THE MANUALS SHALL CONTAIN AN INDEX PAGE AND TABBED DIVIDER PAGES, A LIST OF THE SUPPLIER'S NAMES, ADDRESSES AND TELEPHONE NUMBERS, OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT, COPIES OF TEST CERTIFICATES, ETC. AND INCLUDING A COMPLETE SET OF "APPROVED SHOP DRAWINGS". PROVIDE THE LANDLORD WITH AN APPROVED COPY OF O&M MANUALS.

REMARKS

c/w INSULATED TANK, FLUSH LEVER MOUNTED

c/w OFFSET WASTE AND PROTECTORS FOR

c/w MIXING VALVE, WALL CONTROLLER,

DRAIN, STOPS, SUPPLIES, P-TRAP.

ON OPEN SIDE OF WASHROOM

SHOWER HEAD

PLUMBING FIXTURE REQUIREMENTS

1/2"

1/2"

1/2"

1/2"

1/2"

DRAIN || VENT || DCW || DHW

1-1/4"

1-1/4"

| STRATEGIC PLANNING & DESIGN    |
|--------------------------------|
| INTERIOR DESIGN : COMMERCIAL   |
| LIVING : WORKPLACE STRATEGY    |
| BUILDINGS : PROJECT MANAGEMENT |

## CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# **CONSULTANTS:**

ARCHITECT: INTERIOR DESIGN: TOSS SOLUTIONS MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

#### DRAWING LIST:

ID0.0 GENERAL LEGENDS & KEY PLAN ID1.0 DEMOLITION PLAN & FLOOR PLAN

ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW ID3.0 FINISHES PLAN & SCHEDULE

ID4.0 INTERIOR ELEVATIONS ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS

ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

M2 - VENTILATION M3 - SPECIFCATIONS

ELECTRICAL:
E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT

E3.0 ELECTRICAL SPECIFICATIONS

SUBMISSIONS: Approved By: Drawn By: Approved By: Approved By: Approved By: Approved By: ISSUED FOR TENDER JULY 14, Drawn By: RG Approved By: RG 2023 REV. DATE ISSUE

THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTIONS. THIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS,

# PROFESSIONAL SEAL:

WRITTEN PERMISSION OF TOSS SOLUTIONS.

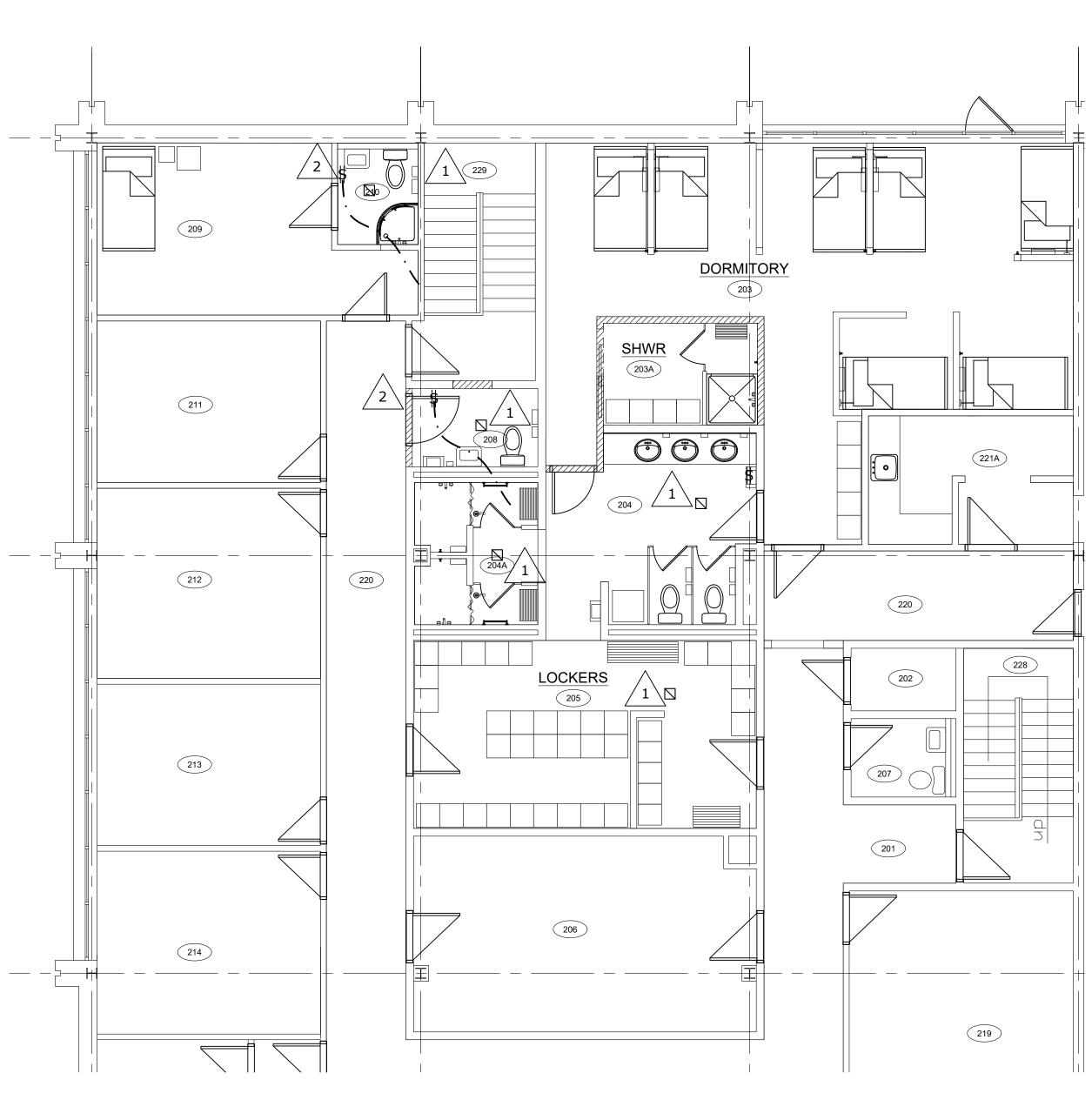


PROJECT NAME: LIVING QUARTERS FIRE STATION NO.

45 LEINSTER STREET SAINT JOHN, NB, E2L 1H9

DRAWING TITLE: PLUMBING

| PROJECT NO:  | DATE:       |
|--------------|-------------|
| 16552        | JULY, 2023  |
| DWG. SCALE:  | PLOT SCALE: |
| 1/8" = 1'-0" | AS SHOWN    |



NEW CONSTRUCTION PLAN - VENTILATION

KEY NOTES - NEW CONSTRUCTION

CONTRACTOR TO REMOVE EXISTING EXHAUST AIR GRILLE AND REPLACE WITH NEW 8"X8" GRILLE. GRILLE SHALL BE TITUS MODEL 350FL OR APPROVED ALTERNATE.

CONTRACTOR TO PROVIDE NEW ON/OFF SWITCH INTEGRATED WITH THE WASHROOM LIGHTING FOR EXISTING EXHAUST FAN IN WASHROOMS 208 AND 210. EXISTING WASHROOM EXHAUST FAN SHALL BE CONTROLLED FROM ANY OF THE THREE (3) NEW SWITCHES. EXHAUST FAN SHALL RUN FOR 15 MINUTES AFTER SWITCH IS DE-ENERGIZED. COORDINATE LINE VOLTAGE REQUIREMENTS AND SWITCH

SPECIFICATIONS WITH ELECTRICAL.

# INTERIOR DESIGN : COMMERCIAL LIVING : WORKPLACE STRATEGY

**BUILDINGS**: PROJECT MANAGEMENT

CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# CONSULTANTS:

ARCHITECT: INTERIOR DESIGN: TOSS SOLUTIONS MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

### DRAWING LIST:

INTERIOR DESIGN ID0.0 GENERAL LEGENDS & KEY PLAN

ID1.0 DEMOLITION PLAN & FLOOR PLAN
ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW

ID3.0 FINISHES PLAN & SCHEDULE

ID4.0 INTERIOR ELEVATIONS
ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS

ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

M2 - VENTILATION

M3 - SPECIFCATIONS

ELECTRICAL:
E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT E3.0 ELECTRICAL SPECIFICATIONS

| SUBN | IISSIONS | :         |           |              |    |
|------|----------|-----------|-----------|--------------|----|
|      |          |           |           | I            |    |
|      |          | Drawn By: |           | Approved By: |    |
|      |          | Drawn By: |           | Approved By: |    |
|      |          | Drawn By: |           | Approved By: |    |
|      |          |           |           |              |    |
|      |          | Drawn By: |           | Approved By: |    |
|      |          | Drawn By: |           | Approved By: |    |
| 0    | JULY 14, |           | ISSUED FO | R TENDER     |    |
| J    | 2023     | Drawn By: | RG        | Approved By: | RG |
| REV. | DATE     | ISSUE     |           |              |    |

THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTIONS. THIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS, WRITTEN PERMISSION OF TOSS SOLUTIONS.

# PROFESSIONAL SEAL:



PROJECT NAME: LIVING QUARTERS FIRE STATION NO. 1

45 LEINSTER STREET SAINT JOHN, NB, E2L 1H9

DRAWING TITLE: VENTILATION

| PROJECT NO:                     | DATE:                |
|---------------------------------|----------------------|
| 16552                           | JULY, 2023           |
| <b>DWG. SCALE:</b> 1/8" = 1'-0" | PLOT SCALE: AS SHOWN |
| DWG. NO:                        | REV. NO:             |

**M2** 

#### **5.0 PIPING AND ACCESSORIES:**

5.1 Reference Standards

.1 Plumbing Systems shall be installed in accordance with the Canadian National Plumbing Code (2015) and requirements of the local authority having jurisdiction.

5.2 Scope of Work

.1 Provide all labour, materials, tools, and equipment for the installation of all domestic, waste, and vent piping as required and shown on the drawings.

.2 Give all notices and arrange for inspections by the Regional Plumbing Inspector where applicable. Provide Owner and Engineer with a copy of all inspection reports.

5.3 Piping (General)

All pipe shall be:

a. New and CSA approved.

b. Accurately cut to measurements taken on site and installed without springing and forcing.

c. Installed straight and true, free from snags.

d. Squarely cut, properly reamed and neatly threaded. e. Free from rust, scale, dirt and oil before and after installation. f. Installed to permit free expansion and contraction, without

5.4 Code Requirements —

.1 Before covering pipes, test the entire plumbing system in accordance with the Canadian Plumbing Code and local requirements. Testing shall be performed in the presence of the local authority having jurisdiction and/or the engineer to demonstrate workmanship.

excessive stress on the piping, valves and fittings.

5.5 Refrigeration Piping

~~ SECTION DELETED ~~

# 6.0 PLUMBING:

# Scope of Work

.1 Domestic Water Piping -

.1 Piping and fittings shall be of one manufacturer.

.2 All water piping and fittings to be copper type "L" with stream line fittings. All connections over  $1\frac{1}{2}$ " to be silver soldered (1100°F). All connection  $1\frac{1}{2}$ " and less to be made with lead—free solder.

.3 In concealed spaces, and where permitted by the AHJ, domestic water piping to be manufactured from a cross—linkable high density polyethylene meeting the requirements of ASTM F876/F877, cNSF CSA B137.5, ULC/UL S101 UL263, and ULC S102/E84. Tubing is to be marked with the name of the manufacturer, nominal size, plastic tubing material designation code PEX 5306 (indicating that the PEX tubing has been tested and meets the F876 requirements for minimum chlorine resistance at the end use condition of 100% @140°F), design pressure and temperature ratings, relevant ASTM standards, manufacturing date and production code, as well as NSF-pw stamps.

Acceptable manufacturer: Uponor or approved alternate.

.4 Install lead—free water hammer arrestors, Zurn model 1260XL, on all hot and cold water lines feeding each fixture or group of fixtures. This contractor shall repair all cases of water hammer at his expense.

#### .2 Drainage, Waste, and Vent Piping -

Furnish and install all drainage, waste, and vent piping for all plumbing fixtures and floor drains based on the Plumbing Fixture Schedule and drawings. Make required connections to building sanitary system in accordance with local regulations to provide functional plumbing systems.

Aboveground drainage and waste lines shall be XFR 15-50 PVC-DWV where permitted. Below ground drainage and waste lines may be ABS, PVC, or cast iron. Vent lines may be IPEX XFR or System 15.

#### .3 Code Requirements -

Give all notices, secure all permits and licenses, conduct required testing on piping systems, as specified, and arrange for inspections by the Regional Plumbing Inspector where applicable. Plumbing systems shall be installed in accordance with all applicable codes and the requirements of the local authority.

#### .4 Products/Fixtures -

Refer to Plumbing Key Notes

|   | PIPING SCHEDULE   |
|---|---|
| ITEM  | DESCRIPTION   |
| ABOVE GRADE STORM<br>& SANITARY   | PVC SYSTEM 15 WHERE EXPOSED, ABS-DWV WHERE CONCEALED.   |
| BURIED SANITARY<br>DRAIN  | PVC OR ABS AS ACCEPTABLE TO GOVERNING AUTHORITIES AND AS PER THE PLUMBING CODE. SUSPEND PIPE FROM STRUCTURAL SLABS IN UNSTABLE SOIL CONDITIONS USING E.MYATT 316 STAINLESS STEEL CLEVIS HANGERS WITH 316 STAINLESS STEEL 5/8" DIAMETER RODS AT 3'-0" CENTERS MIN.   |
| DOMESTIC COLD AND HOT WATER   | UPONOR PEX-A OR APPROVED ALTERNATE. COPPER IN EXPOSED AREAS.  |
| VENT  | IPEX SYSTEM 15 DWV. IPEX SYSTEM XFR OR ROYAL PIPE LRS-25; HRS-2550. COATED PIPE IN CEILING SPACES USED AS RETURN AIR PLENUMS OR NON COMBUSTIBLE LOCATIONS, WITH 3M OR WARNOCK HERSEY ULC LABEL FIRESTOPS. SOLVENT CEMENT TO BE ACCEPTABLE TO THE PIPING MANUFACTURER. CONTACT IPEX FOR PRECISE INSTALLATION REQUIREMENTS IN NON COMBUSTIBLE LOCATIONS.  |
| 2) PIPING IS TO BE SU<br>DICTATED BY THE COD<br>STEEL ROOF DECK.<br>PIPING IS TO BE AS PE<br>4) REFER TO THE INSU | ALS AND INSTALLATION IS TO BE AS PER AUTHORITIES HAVING JURISDICTION AND THE PLUMBING CODE PPORTED USING CLEVIS HANGERS AND CLAMPS WITH SPACING AS RECOMMENDED BY THE MANUFACTURER OR AS WE WHICH EVER IS THE MOST STRINGENT. SUSPEND PIPING FROM STRUCTURAL STEEL OR CONCRETE NOT FROM 3) DOMESTIC HOT, COLD, AND RE-CIRCULATION IR CSA-STD B64-10 WEATION SCHEDULE FOR PIPE COVERING E STRAIGHT PARALLEL AND PERPENDICULAR TO THE BUILDING STRUCTURE. SLOPE ALL PIPING TO DRAIN POINTS. |

(6) ALLOW FOR ADEQUATE EXPANSION ON ALL PIPING.

| ITEM  | DESCRIPTION  |
|---|--|
| DOMESTIC HOT<br>WATER AND<br>CONDENSATE PIPING,<br>VALVES FITTINGS,<br>ETC. | USE DUAL TEMPERATURE GLASS FIBRE INSULATION WITH FIRE RESISTANT VAPOUR BARRIER JACKET (WHITE) AND FIREPROOF ADHESIVE AT ALL JOINTS. BUTT JOINTS SHALL BE WRAPPED WITH WHITE 4" WIDE VAPOUR BARRIER STRIPS SAME MATERIAL AS JACKET. THICKNESS FOR INSULATION OF PIPING 2" AND UNDER SHALL BE 1". THE INSULATION SHALL PASS UNBROKEN THROUGH ALL PIPE SLEEVES THICKNESS TO BE 1" UNLESS OTHERWISE NOTED, WATER METER INSULATION SHALL BE DOUBLE THICKNESS. SEAL ALL LONGITUDINAL AND CIRCUMFERENTIAL JOINTS WITH ADHESIVE. |
| VENT PIPING AT ROOF   | USE DUAL 1" TEMPERATURE GLASS FIBRE INSULATION WITH FIRE RESISTANT VAPOUR BARRIER JACKET (WHITE) AND FIREPROOF ADHESIVE AT ALL JOINTS FOR 12" BELOW FINISHED ROOF.   |
|   | DUCTS ARE TO BE EQUAL TO KNAUF, FIBREGLASS CANADA OR JOHNS MANVILLE. THE APPLICATION IS TO BE AS R'S RECOMMENDATIONS, THE THERMAL INSULATION ASSOCIATION OF CANADA, AND AUTHORITIES HAVING NG ASHRAE 90.1  |

REQUIRED ON INSULATION, AND USE PVC JACKETING (WHITE) ON ALL PIPE INSULATION WHERE EXPOSED.

INTERIOR DESIGN : COMMERCIAL LIVING: WORKPLACE STRATEGY **BUILDINGS: PROJECT MANAGEMENT** 

CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# CONSULTANTS:

ARCHITECT: INTERIOR DESIGN: **TOSS SOLUTIONS** MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

#### DRAWING LIST:

INTERIOR DESIGN ID0.0 GENERAL LEGENDS & KEY PLAN

ID1.0 DEMOLITION PLAN & FLOOR PLAN
ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW

ID3.0 FINISHES PLAN & SCHEDULE

ID4.0 INTERIOR ELEVATIONS ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS

ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

MECHANICAL: M1 - PLUMBING M2 - VENTILATION M3 - SPECIFCATIONS

ELECTRICAL:
E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT

E3.0 ELECTRICAL SPECIFICATIONS

| SUBN | IISSIONS |           |        |              |    |
|------|----------|-----------|--------|--------------|----|
|      |          |           |        |              |    |
|      |          | Drawn By: |        | Approved By: |    |
|      |          | Drawn By: |        | Approved By: |    |
|      |          | Drawn By: |        | Approved By: |    |
|      |          | Drawn By: |        | Approved By: |    |
|      |          | Drawn By: |        | Approved By: |    |
| 0    | JULY 14, |           | ISSUED | FOR TENDER   |    |
|      | 2023     | Drawn By: | RG     | Approved By: | RG |
| REV. | DATE     | ISSUE     |        |              |    |

THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTIONS. THIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS,

# **PROFESSIONAL SEAL:**

WRITTEN PERMISSION OF TOSS SOLUTIONS.



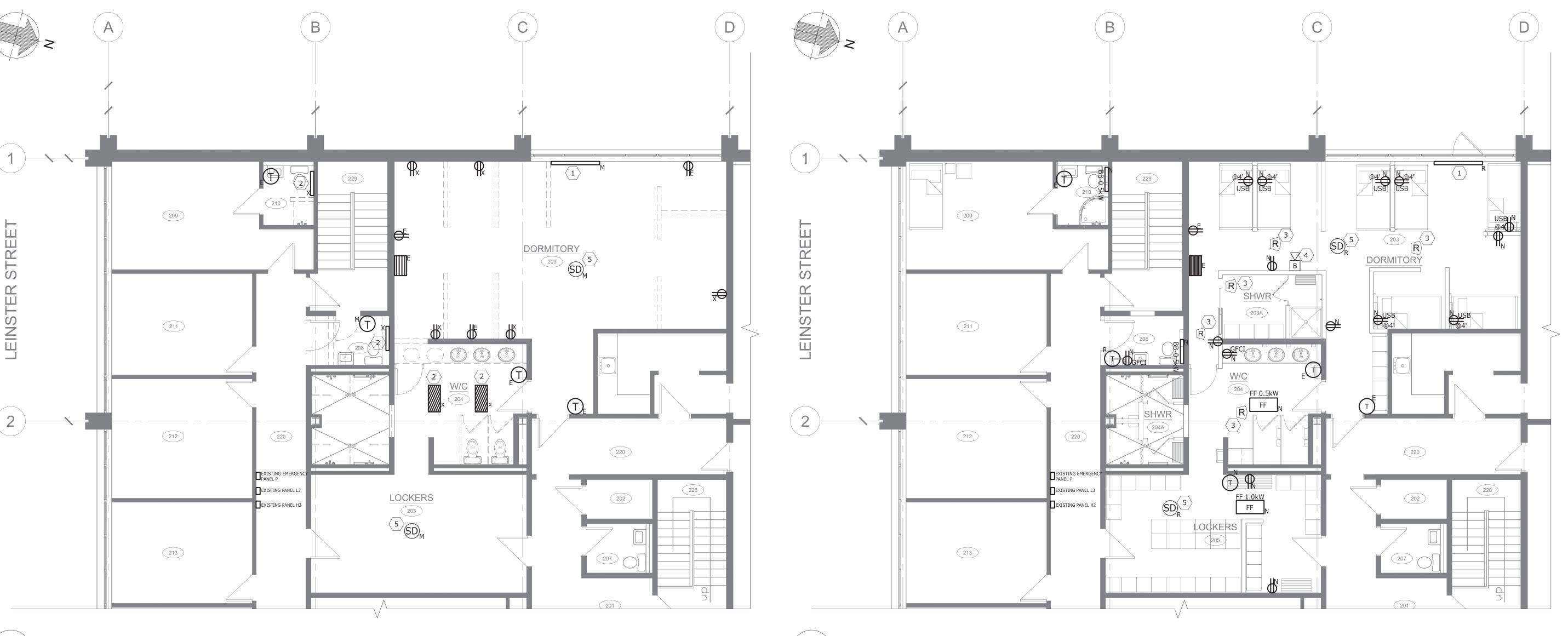
PROJECT NAME: LIVING QUARTERS FIRE STATION NO. 1

**45 LEINSTER STREET** SAINT JOHN, NB, E2L 1H9

DRAWING TITLE: **SPECIFICATIONS** 

| PROJECT NO: 16552 | <b>DATE:</b><br>  JULY, 2023 |
|-------------------|------------------------------|
| DWG. SCALE:       | PLOT SCALE:                  |
| 1/8" = 1'-0"      | AS SHOWN                     |

DWG. NO:



1 DEMOLITION PLAN - POWER & COMMUNICATION PLAN SCALE: 3/16" = 1'-0"

# **ELECTRICAL LEGEND**

- DUPLEX RECEPTACLE, 120V, 15A, DECORA, TAMPER RESISTANT, COMMECIAL GRADE, COMPLETE WITH OFFICE NYLON FACE AND COVERPLATE.
- T-SLOT RECEPTACLE, 120V, 20A, DECORA, TAMPER RESISTANT, COMPLETE WITH OFFICE NYLON FACE AND COVERPLATE, NEMA 5-20RA

ELECTRIC HEATER - SEE HEATING SCHEDULE FOR DETAILS

INTERCOM CEILING SPEAKER, RECESSED MOUNTED

(SD) FIRE ALARM SMOKE DETECTOR

FIRE ALARM BELL

THERMOSTAT RATED FOR CONNECTED LOAD AS INDICATED ON FLOOR PLANS - MOUNTING HEIGHT: 1200mm PROGRAMABLE ELECTRONIC THERMOSTAT FOR BASEBOARD AND FAN HEATERS. THERMISTOR TEMPERATURE SENSING ACCURACY TO 0.5 DEGREES CELSIUS & TEMPERATURE RANGE FROM 5 - 30 DEGREES CELSIUS. COMPLETE WITH LCD BACK-LIT DISPLAY. MINIMUM 3-YEAR WARRANTY

FF FORCED FLOW CEILING HEATER

RADIANT HEATER

FORCED FLOW WALL HEATER

# ABBREVIATION:

- E INDICATES EXISTING DEVICE TO REMAIN
- R INDICATES NEW LOCATION OF RELOCATED DEVICE
- M INDICATES EXISTING DEVICE TO BE RELOCATED
- N INDICATES NEW DEVICE
- X INDICATES EXISTING TO BE REMOVED

GFCI - INDICATES DEVICE TO BE GROUND FAULT CIRCUIT INTERRUPTER

USB - INDICATES DEVICE TO BE C/W USB-C RECEPTACLE

2 NEW FLOOR PLAN - POWER & COMMUNICATION PLAN SCALE: 3/16" = 1'-0"

|          |              | EL        | ECTRICAL HE | ATING SCHED        | ULE     |   |
|----------|--------------|-----------|-------------|--------------------|---------|---|
| TYPE ID  | MANUFACTURER | MODEL     | VOLTAGE     | NUMBER OF<br>POLES | WATTAGE | NOTES   |
| BB 0.5kW | STELPRO      | BB SERIES | 240V        | 2                  | 500W    | BASEBOARD HEATER - WHITE FINISH CONNECTED TO CONTROL THERMOSTAT   |
| FF 0.5kW | STELPRO      | SK SERIES | 240V        | 2                  | 500W    | CEILING FAN HEATER - WHITE FINISH CONNECTED TO CONTROL THERMOSTAT |
| FF 1.0kW | STELPRO      | SK SERIES | 240V        | 2                  | 1000W   | CEILING FAN HEATER - WHITE FINISH CONNECTED TO CONTROL THERMOSTAT |

|                | ELECTRICAL NOTES   |
|----------------|--|
| SYMBOL         | DESCRIPTION  |
| <u>\( 1 \)</u> | EXISTING BASEBOARD TO BE MOVED TO NEW LOCATION AS INDICATED ON THE FLOOR PLAN  |
| <b>2</b>       | EXISTING HEATERS TO BE DISCONNECTED, REMOVED AND REPLACED WITH NEW HEATERS AS INDICATED ON THE FLOOR PLANS   |
| 3              | NEW SPEAKERS TO BE CONNECTED TO EXISTING DISPATCH SYSTEM. INSTALLED SPEAKERS SHALL MATCH THE EXISTING PC-580RU SPEAKERS. CONTRACTORS SHALL CONFIRM BEFORE INSTALLATION.  |
| <b>4</b>       | SUPPLY AND INSTALL A NEW FIRE ALARM BELL. TEST TO ENSURE MINIMUM DB READING OF 75DB. ALL INSTALLATION WORK MUST MEET OR EXCEED THE APPLICABLE CAN/ULC CODE FOR ALARM INSTALLATION OF ACCESSORIES. UPON COMPLETION OF WORK, TEST FIRE ALARM SYSTEM TO THE APPLICABLE CAN/ULC CODE |
| <b>(5)</b>     | EXISTING SMOKE DETECTOR AND ALL ASSOCIATED WIRING SHALL BE RELOCATED TO NEW POSITION   |

# GENERAL NOTES:

- 1. THE CONTRACTOR SHALL:
- 1.1. REVIEW THE EXISTING ELECTRICAL INSTALLATIONS PRIOR TO STARTING WORK AND THE EXTENT OF ELECTRICAL DEMOLITION.
  1.2. IDENTITY AND MAINTAIN EXISTING INSTALLATION THAT ARE TO BE REUSED OR MODIFIED. SUPPLY AND INSTALL NEW DEVICES AS INDICATED.
- 2. REMOVE ALL EXISTING RECEPTACLES, CONDUIT AND WIRING AS INDICATED ON THE DRAWING.
- 3. PROVIDE NEW TYPE ELECTRICAL PANEL DIRECTORY TO INDICATE ALL CIRCUITS THROUGHOUT THE SPACES AFTER WORK HAS BEEN COMPLETED. INDICATE ALL POWER CIRCUIT ON AS-BUILT DRAWINGS

# D STRATEGIC PLANNING & DESIGN

INTERIOR DESIGN : COMMERCIAL LIVING : WORKPLACE STRATEGY BUILDINGS : PROJECT MANAGEMENT

## CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# CONSULTANTS: ARCHITECT:

ARCHITECT:
INTERIOR DESIGN:
MECHANICAL ENGINEERING: FUNDY ENGINEERING
ELECTRICAL ENGINEERING: FUNDY ENGINEERING
STRUCTURAL ENGINEERING:
CIVIL ENGINEERING:
ACOUSTIC SPECIALIST:
LANDSCAPE ARCHITECT:

#### DRAWING LIST:

INTERIOR DESIGN ID0.0 GENERAL LEGENDS & KEY PLAN

- ID1.0 DEMOLITION PLAN & FLOOR PLAN
  ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW
- ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW ID3.0 FINISHES PLAN & SCHEDULE ID4.0 INTERIOR ELEVATIONS
- ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

MECHANICAL:
M1 PLUMBING
M2 VENTILATION
M3 SPECIFICATIONS

ELECTRICAL:
E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT

E3.0 ELECTRICAL SPECIFICATIONS



THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTION THIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS,

# PROFESSIONAL SEAL



PROJECT NAME:
LIVING QUARTERS
FIRE STATION NO. 1

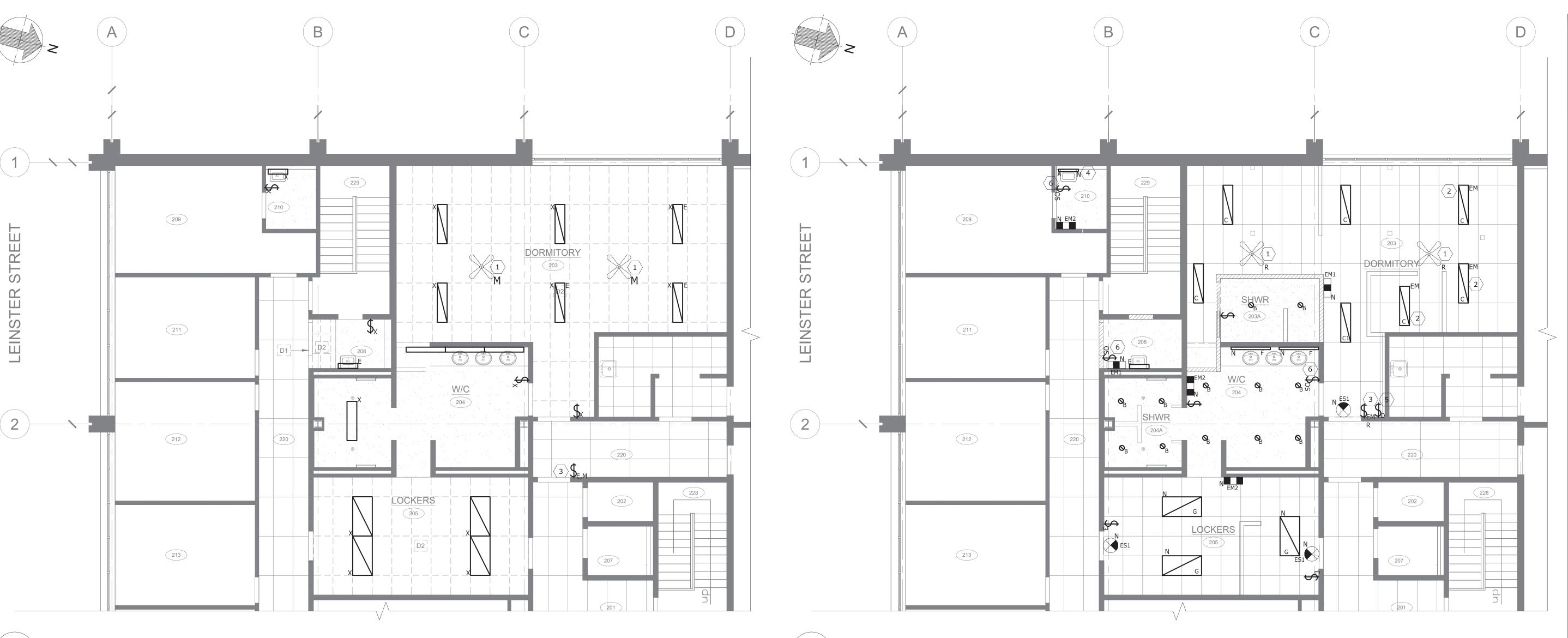
45 LEINSTER STREET SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

DEMOLITION AND NEW POWER & COMMUNICATION LAYOUT

| PROJECT NO: | DATE          |
|-------------|---------------|
| 16552       | JUNE 14, 2023 |
| DWG. SCALE: | PLOT SCALE:   |
|             | 1.1           |

DWG. NO: **E1.0** 



DEMOLITION - LIGHTING PLAN E2.0 SCALE: 3/16" = 1'-0"

|--|

LIGHTING SWITCH

LIGHTING DIMMER SWITCH

LIGHTING SWITCH - 3 WAY

LIGHTING OCCUPANCY SENSOR - C/W 15MIN OFF DELAY

RECESSED DOWNLIGHT

LUMINAIRE

VANITY LIGHT

DUAL HEAD REMOTE MOUNTED EMERGENCY UNIT

DUAL HEAD EMERGENCY BATTERY LIGHTING UNIT WITH BATTERY

EXIT SIGN CEILING MOUNTED. SHADING INDICATES NUMBER AND LOCATION OF FACES, ARROW INDICATES EGRESS OF DIRECTION

EXIT SIGN, WALL MOUNTED

SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE TYPES AND FURTHER INFORMATION FURTHER INFORMATION

# **DEVICE DESIGNATIONS:**

OS - INDICATES DEVICE WITH BUILT IN OCCUPANCY SENSOR

a - LOWERCASE LETTERING INDICATES CONTROLLED FIXTURES AND ASSOCIATED DEVICES

T - INDICATES DEVICE TO BE TAMPER RESISTANT

EM - INDICATES DEVICE TO BE CONNECTED TO EMERGENCY LIGHTING SYSTEM

R - INDICATES NEW LOCATION OF RELOCATED DEVICE M - INDICATES EXISTING DEVICE TO BE RELOCATED

N - INDICATES NEW DEVICE

X - INDICATES EXISTING TO BE REMOVED

E - INDICATES EXISTING TO REMAIN

# 2 NEW FLOOR PLAN - LIGHTING LAYOUT E2.0 SCALE: 3/16" = 1'-0"

# **ELECTRICAL LIGHTING SCHEDULE**

|         | ELECTRICAL LIGHTING SCHEDOLE |  |   |         |                     |   |  |  |
|---------|------------------------------|--|---|---------|---------------------|---|--|--|
| TYPE ID | MANUFACTURER                 | MODEL                                  | PRODUCT DETAILS                                       | WATTAGE | MOUNTING            | NOTES   |  |  |
| А       | LITHONIA                     | FMV SERIES                             | FMVTSL-24IN-MVOLT-30K-90CRI-BN                        | 26W     | SURFACE ON WALL     | WALL MOUNTED IN WASHROOM CENTERED ABOVE VANITY MIRROR       |  |  |
| В       | LITHONIA                     | LDN6 SERIES                            | LDN6-35/30-LO6AR-LSS-MVOLT-GZ10                       | 35W     | RECESSED IN CEILING | RECESSED MOUNTED IN SHOWER ROOM CEILING                     |  |  |
| С       | LITHONIA                     | BLT4 SERIES                            |   |         | 1'X4' LINEAR        | LIGHTING FIXTURE SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR |  |  |
| C1      | LITHONIA                     | BLT4 SERIES                            |   |         |                     | NEW, TO MATCH OWNER SUPPLIED FIXTURE                        |  |  |
| Н       | WAC LIGHTING                 | SPRING                                 | BL-23210-BN   | 5W      | READING LAMP        | REFER TO INTERIOR ELEVATIONS                                |  |  |
| G       | LITHONIA                     | CPX LED PANEL                          | 2X4-3000LM-80CRI-35K-SWL-MIN1-ZT-MVOLT-E10WLCP        | 26.4W   | RECESSED IN CEILING | LIGHTING FIXTURE SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR |  |  |
| F       | LEDALITE                     | MODIFY WALL                            | MF-W-L-935-35-W-N-04-D-E-1-N-NN-W48" LENGHTH          | 27.4W   | SURFACE ON WALL     | EVENLY SPACED AT VANITY. REFER TO INTERIOR ELEVATIONS       |  |  |
| EM1     | LUMACELL                     | RGS SERIES                             | FIXTURE: 120V BATTERY UNIT                            | 200W    | SURFACE ON WALL     | EMERGENCY LIGHT BATTERY PACK                                |  |  |
| EM2     | LUMACELL                     | MQM OR COMPATIBLE<br>WITH BATTERY UNIT | VOLTAGE TO MATCH BATTERY UNIT. DUAL MR16 6W LED HEADS | 6W      | SURFACE ON WALL     | EMERGENCY LIGHT REMOTE HEAD                                 |  |  |
| ES1     | LUMACELL                     | LA SERIES                              | 120V-347V LED SELF POWERED                            | 5W      | SURFACE ON WALL     | GREEN RUNNING MAN EXIT SIGN SELF POWERED                    |  |  |

|                     | <u>LIGHTING NOTES</u>  |
|---------------------|--|
| SYMBOL              | DESCRIPTION  |
| GENERAL             | EXISTING LIGHTING FIXTURES INDICATED IN THE DORMITORY AND LOCKER ROOM ARE TO BE REMOVED AND REPLACED WITH NEW OWNER SUPPLIED FIXTURES AS INDICATED ON THE DRAWINGS   |
| $\langle 1 \rangle$ | RELOCATE EXISTING CEILING FAN C/W ALL ASSOCIATED WIRING TO NEW LOCATION AS INDICATED ON THE DRAWINGS   |
| 2                   | LIGHTING FIXTURES SHALL BE CONNECTED TO THE EXISTING EMERGENCY CIRCUIT. VERIFY ALL LIGHTING FIXTURE WITHIN THE SPACE CONNECTED TO EMERGENCY CIRCUIT PRIOR TO START OF WORK.  |
| 3                   | EXISTING EMERGENCY SWITCH SHALL BE RELOCATED TO NEW LOCATION AS INDICATED ON THE DRAWINGS  |
| 4                   | SUPPLY AND INSTALL NEW WALL MOUNTED VANITY LIGHT (TYPE 'A')  |
| 5                   | DIMMER SWITCH IS SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR.   |
| 6                   | SUPPLY AND INSTALL NEW OCCUPANCY LIGHT SWITCH IN WASHROOMS 204, 208 & 210. LIGHT SWITCH SHALL BE INTEGRATED WITH EXISTING EXHAUST FANS IN THESE WASHROOMS. EXISTING EXHAUST FANS IN THESE WASHROOMS. EXISTING EXHAUST FANS IN THESE WASHROOMS SHALL BE CONTROLLED FROM ANY OF THE THREE(3) WASHROOMS SWITCH WITH A 15MINS DELAY TIMER. |

INTERIOR DESIGN : COMMERCIAL LIVING : WORKPLACE STRATEGY **BUILDINGS : PROJECT MANAGEMENT** 

## CLIENT:

# CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

### CONSULTANTS: ARCHITECT:

INTERIOR DESIGN: TOSS SOLUTIONS MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

#### DRAWING LIST:

INTERIOR DESIGN ID0.0 GENERAL LEGENDS & KEY PLAN

ID1.0 DEMOLITION PLAN & FLOOR PLAN ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW

ID3.0 FINISHES PLAN & SCHEDULE ID4.0 INTERIOR ELEVATIONS

ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

MECHANICAL: M1 PLUMBING M2 VENTILATION M3 SPECIFICATIONS

E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT E3.0 ELECTRICAL SPECIFICATIONS

| SUBN | IISSIONS |           |          |              |    |
|------|----------|-----------|----------|--------------|----|
|      |          |           |          |              |    |
|      |          | Drawn By: |          | Approved By: |    |
|      |          |           |          |              |    |
|      |          | Drawn By: |          | Approved By: |    |
|      |          |           |          |              |    |
|      |          | Drawn By: |          | Approved By: |    |
|      |          |           |          |              |    |
|      |          | Drawn By: |          | Approved By: |    |
|      |          |           |          |              |    |
|      |          | Drawn By: |          | Approved By: |    |
| 0    | JULY 14, |           | ISSUED F | OR TENDER    |    |
|      | 2023     | Drawn By: | MG       | Approved By: | CA |
| REV. | DATE     | ISSUE     |          |              |    |

THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTIONS. THIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS, WRITTEN PERMISSION OF TOSS SOLUTIONS.

# PROFESSIONAL SEAL:



PROJECT NAME:

LIVING QUARTERS FIRE STATION NO. 1

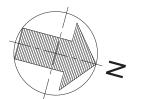
**45 LEINSTER STREET** SAINT JOHN, NB, E2L 1H9

DRAWING TITLE:

DEMOLITION AND NEW LIGHTING LAYOUT

| PROJECT NO:  | DATE          |
|--------------|---------------|
| 16552        | JUNE 14, 2023 |
| DWG. SCALE:  | PLOT SCALE:   |
| 1/8" = 1'_0" | 1 · 1         |

DWG. NO:



# **ELECTRICAL SPECIFICATIONS**

#### 1. GENERAL PROVISIONS:

#### 1.1. CODES, REGULATIONS, PERMITS:

- 1.1.1. WORK SHALL CONFORM TO THE LATEST RULES, REGULATIONS AND DEFINITIONS OF THE CANADIAN ELECTRICAL CODE, APPLICABLE MUNICIPAL AND PROVINCIAL CODES AND REGULATIONS AND WITH REQUIREMENTS OF OTHER AUTHORITIES HAVING JURISDICTION IN THE AREA WHERE WORK IS TO BE PERFORMED.
- 1.1.2. ALL EQUIPMENT AND MATERIAL SHALL BE CSA AND ULC APPROVED AND SO LABELLED.
- 1.1.3. OBTAIN ALL PERMITS, PAY ALL FEES, AND PRESENT FINAL UNCONDITIONAL APPROVAL CERTIFICATE FROM UTILITY AND BUILDING INSPECTION.
- 1.1.4. REFER TO AND COMPLY WITH THE GENERAL CONDITIONS AS INDICATED IN THE ARCHITECTURAL SPECIFICATION.

#### 1.2. EXAMINATION OF SITE:

- 1.2.1. BEFORE TENDERING, EXAMINE SITE AND ALL APPLICABLE DRAWINGS SO THAT THE TENDER EXAMINE THE SITE AND LOCAL CONDITIONS AFFECTING THE WORK WITH ALL TENDER DOCUMENTS, TO ENSURE THE WORK CAN BE SATISFACTORILY PERFORMED AS SHOWN. PRIOR TO COMMENCING WORK, EXAMINE THE WORK OF OTHER DIVISIONS AND REPORT AT ONCE ANY DEFECT OR INTERFERENCE AFFECTING THE WORK OF THIS CONTRACTOR. NO ALLOWANCE WILL BE MADE LATER FOR ANY EXPENSES INCURRED THROUGH FAILURE TO MAKE THIS EXAMINATION OR TO REPORT ANY DISCREPANCIES IN WRITING.
- 1.2.2. THIS CONTRACTOR IS TO ATTEND ALL SITE MEETINGS PRIOR TO CLOSE OF TENDER TO CONFIRM SCOPE OF WORK.

#### 1.3. WORK IN EXISTING BUILDING:

- 1.3.1. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS OF BUILDING RENOVATION.
- 1.3.2. BUILDING REDUNDANT EQUIPMENT AND MATERIALS: TO BE BROUGHT AND TURNED OVER TO THE OWNER'S BUILDING STORAGE, FOR FIRST RIGHT REFUSAL.
- 1.3.3. BUILDING MULLIONS, CEILING GRID AND CURTAIN WALL: DO NOT MAKE ANY PENETRATIONS UNDER ANY CONDITIONS.
- 1.3.4. EXECUTE ALL WORK USING MATERIALS AND METHODS TO PROVIDE SYSTEM OPERATION, QUALITY, AND APPEARANCE EQUAL TO OR BETTER THAN THE EXISTING BUILDING.
- 1.3.5. IF APPLICABLE, "X" RAY ALL LOCATIONS WHERE OPENINGS ARE REQUIRED IN THE FLOOR SLAB TO ENSURE THAT POST TENSION CABLES ARE NOT DAMAGED. "X" RAYING AND CORE DRILLING TO BE PERFORMED AFTER NORMAL WORKING
- 1.3.6. COORDINATION OF THE INSTALLATION, PHASING, WORKING CONDITIONS, TIME SCHEDULES, IS TO BE CAREFULLY COORDINATED.
- 1.3.7. WHERE EXISTING SERVICES PRESENTLY MOUNTED ON AND/OR CONCEALED BEHIND EXISTING FINISHES BECOME EXPOSED DURING THE RENOVATION WORK, AND WHERE THESE SERVICES WILL NOT BE CONCEALED BEHIND OR MOUNTED ON NEW FINISHES, INCLUDE FOR RELOCATING THE SERVICE SO AS TO BE CONCEALED BEHIND OR ON NEW OR EXISTING FINISHES. COORDINATE NEW LOCATIONS WITH THE ARCHITECT.
- 1.3.8. WHERE DISRUPTIONS OR EXISTING SERVICES ARE REQUIRED COORDINATE THE SHUT-DOWNS WITH THE OWNER AND CARRY OUT THE WORK AT A TIME AND IN A MANNER ACCEPTABLE TO THEM. CAREFULLY SCHEDULE ALL DISRUPTIONS AND/OR SHUT-DOWNS AND ENSURE THAT THE DURATION OF SAME IS KEPT TO THE ABSOLUTE MINIMUM. SUBMIT FOR APPROVAL A WRITTEN CONCISE SCHEDULE OF EACH DISRUPTION AT LEAST 72 HOURS IN ADVANCE OF PERFORMING WORK AND OBTAIN OWNER'S WRITTEN CONSENT PRIOR TO IMPLEMENTING.
- 1.3.9. ASSUME FULL RESPONSIBILITY FOR ANY DISRUPTION OR DAMAGE TO EXISTING SERVICES OR SYSTEMS. SHOULD ANY TEMPORARY CONNECTIONS BE REQUIRED TO MAINTAIN SERVICES DURING WORK IN THE EXISTING BUILDING, SUPPLY AND INSTALL ALL NECESSARY MATERIAL AND EQUIPMENT AND PROVIDE ALL LABOR AT NO EXTRA COST. SHOULD ANY EXISTING SYSTEM OR DEVICE BE DAMAGED IN THE COURSE OF WORK BY THIS DIVISION, MAKE FULL REPAIRS WITHOUT EXTRA COST AND TO THE SATISFACTION OF THE OWNER.

# 1.4. OWNER'S RIGHT TO RELOCATE ELECTRICAL ITEMS:

1.4.1. THE OWNER RESERVES THE RIGHT TO RELOCATE ELECTRICAL ITEMS AT A LATER DATE, BUT PRIOR TO INSTALLATION, WITHOUT COST, ASSUMING THAT THE RELOCATION OF EACH ITEM DOES NOT EXCEED 10 FEET FROM IT'S ORIGINAL

# 1.5. SHOP DRAWINGS:

1.5.1. PROVIDE ONE ELECTRONIC (PDF) COPY OF MANUFACTURER'S SHOP DRAWINGS FOR APPROVAL. SHOP DRAWINGS SHALL INCLUDE, ALL DISTRIBUTION EQUIPMENT, LIGHT FIXTURES, EMERGENCY BATTERY UNITS, AND OTHER SPECIAL EQUIPMENT.

# 1.6. CUTTING AND PATCHING:

1.6.1. BE RESPONSIBLE FOR ALL CUTTING AND PATCHING NECESSARY FOR COMPLETION OF YOUR WORK.

# 1.7. IDENTIFICATION:

- 1.7.1. PROVIDE LAMICOID NAMEPLATES ON ALL DISCONNECT SWITCHES, PANELS ETC.
- 1.7.2. PROVIDE TYPEWRITTEN DIRECTORIES FOR ALL NEW PANELS AND UPDATE DIRECTORIES FOR ALL EXISTING PANELS.
- 1.7.3. ALL LIGHT SWITCHES, LIGHTS, RECEPTACLES, MANUAL STARTERS, DIRECT CONNECTION EQUIPMENT, JUNCTION BOXES, OUTLET BOXES, AND ALL BRANCH CIRCUIT WIRING RUN IN THE CEILING SPACE SHALL, HAVE ITS PANEL AND CIRCUIT IDENTIFIED WITH A LAMICOID NAMEPLATE OR A BRADY FOAM BACKED RAISED LABEL. BLACK LETTERS ON WHITE BACKGROUND, 6MM HIGH X 25MM LONG (IE. MA-3 OR MA-2,4,6). NAMEPLATES TO BE PROPERLY SECURED TO COVER PLATE OR EQUIPMENT.
- 1.7.4. CONDUITS AND PULL BOXES USED FOR COMMUNICATIONS SHALL BE CLEARLY UNIQUELY IDENTIFIED EVERY 30 FT TO SEPARATE THEM FROM OTHER PATHWAYS.
- 1.7.5. ALL GROUNDING AND BONDING ELEMENTS SHALL BE ADEQUATELY LABELED TO UNIQUELY STATE THEIR CONNECTION OR FUNCTION.
- 1.7.6. ALL FIRE STOPS SHALL BE ADEQUATELY LABELED, INCLUDING INSTALLERS NAME, ADDRESS, PHONE NUMBER, DATE, AND FIRE RATING.

# 1.2. AS-BUILT DRAWINGS AND OPERATIONAL MANUAL:

- 1.2.1. AT THE COMPLETION OF WORK, PROVIDE OWNER WITH A SET OF AS-BUILT RECORD DRAWINGS AND O&M MANUALS C/W THE FOLLOWING:
- TABLE OF CONTENTS.
- NAMES, ADDRESSES AND TELEPHONE NUMBERS OF LOCAL SUPPLIERS FOR ITEMS INCLUDED IN OPERATION AND MAINTENANCE MANUALS.
- COPY OF REVIEWED SHOP DRAWINGS.
- NAME AND ADDRESS OF ELECTRICAL CONTRACTOR
- COPY OF ALL TEST CERTIFICATES.
- COPY OF ALL FINAL PANELBOARD SCHEDULES.

#### 2. BASIC MATERIAL AND METHODS:

#### 2.1. WIRING METHODS:

- 2.1.1. ALL BUILDING WIRES AND CABLES SHALL BE COPPER THERMOPLASTIC TYPE RW90 75 DEGREES C RATED AND INSTALLED IN CONDUIT. MINIMUM SIZE SHALL BE #12 AWG. FOR FINAL CONNECTIONS TO HEATING EQUIPMENT USE SILICONE INSULATED TYPE WIRE, SUITED FOR THIS PURPOSE. ALL CONDUITS SHALL BE EMT TYPE GALVANIZED STEEL UTILIZING SET SCREW FITTINGS, INSULATED THROAT CONNECTION AND COUPLINGS. ALL CONDUITS SHALL BE CONCEALED EXCEPT IN UNFINISHED AREAS.
- 2.1.2. BRANCH CIRCUIT WIRING EXCEEDING 100 FEET TO THE FURTHEST OUTLET FROM A PANELBOARD SHALL BE #10 AWG. BRANCH CIRCUIT WIRING EXCEEDING 150 FEET TO THE FURTHEST OUTLET FROM A PANELBOARD SHALL BE #8 AWG.
- 2.1.3. AC90 ARMORED CABLE (BX) MAY BE USED FOR LUMINAIRE CONNECTION AND IN EXISTING WALLS, WHERE CONDUIT IS NOT PRACTICAL MAXIMUM LENGTH 10 FEET.
- 2.1.4. ALL CONDUITS SHALL BE RUN PARALLEL TO WALLS AND CEILINGS. PROVIDE A NYLON FISH WIRE IN ALL EMPTY CONDUITS.
- 2.1.5. IN AREAS WITH DRYWALL CEILINGS, CONTRACTOR SHALL LOCATE/RELOCATE ALL NEW/EXISTING JUNCTION BOXES, PULL BOXES, DISCONNECTS, ETC. TO ACCESSIBLE AREAS; AS REQUIRED BY THE CANADIAN ELECTRICAL CODE. WHERE IT IS NOT POSSIBLE TO RELOCATE/INSTALL EXISTING/NEW SERVICES IN ACCESSIBLE AREAS, CONTRACTOR SHALL PROVIDE ACCESS PANELS C/W FIRE RATINGS AS REQUIRED. EXACT LOCATION OF ACCESS PANELS SHALL BE COORDINATED WITH THE ARCHITECT.
- 2.1.6. SUPPORT ALL CONDUITS AND WIRING INDEPENDENT OF CEILING SYSTEM

## 2.2. OUTLET BOXES AND JUNCTION BOXES:

- 2.2.1. PROVIDE AN OUTLET BOX FOR EACH LIGHTING FIXTURE, WIRING DEVICE, ETC. BOXES SHALL BE SUITABLE FOR THE APPLICATION.
- 2.2.2. SUPPORT BOXES INDEPENDENT OF CONDUIT.
- 2.2.3. ALL BOXES SHALL BE INSTALLED SO AS TO BE ACCESSIBLE AFTER WORK IS COMPLETE. PROVIDE PULL BOXES ON ALL CONDUIT RUNS ON THE BASIS OF NOT MORE THAN TWO RIGHT ANGLE BENDS OR THEIR EQUIVALENT OR A DISTANCE NOT TO EXCEED 100 FEET BETWEEN BOXES.

#### 2.3. DEVICES:

- 2.3.1. TEMPER RESISTANT RECEPTACLES AS REQUIRED BY THE CANADIAN ELECTRICAL CODE: DECORA STYLE, WHITE IN COLOR, MOUNTED AS PER ARCHITECTURAL DRAWINGS. STANDARD DUPLEX AND GFI DUPLEX.
- 2.3.2. RECEPTACLES OF ONE MANUFACTURER THROUGHOUT THE PROJECT.
- 2.3.3. SWITCHES: DECORA STYLE, WHITE IN COLOR. MOUNTED AS PER ARCHITECTURAL DRAWINGS.
- 2.3.4. SWITCHES OF ONE MANUFACTURER THROUGHOUT THE PROJECT.
- 2.3.5. COVERPLATES SHALL BE WHITE IN COLOR AND AS INDICATED, MOUNTED AS PER ARCHITECTURAL DRAWINGS.
- 2.3.6. COVERPLATES OF ONE MANUFACTURER THROUGHOUT THE PROJECT.

## 3. DISTRIBUTION:

## 3.1. PANELBOARDS

- 3.1.1. INSTALL NEW PANELBOARD AS INDICATED WHERE APPLICABLE, MANUFACTURED BY EATON, SCHNEIDER OR SIEMENS.
- 3.1.2. PANEL BOARDS SHALL HAVE SURFACE TRIM AND DOORS FINISHED FOR SURFACE MOUNTED AS SHOWN ON DRAWINGS, BOLT-ON CIRCUIT BREAKER TYPE, SIZED AND OF TYPES AND ELECTRICAL CHARACTERISTICS AS INDICATED ON DRAWINGS.
- 3.1.3. BALANCE THE LOADING ON FEEDERS SO THAT UNBALANCED LOAD IS LESS THAN 10%

# 3.2. GROUNDING:

3.2.1. PROVIDE A COMPLETE GROUNDING SYSTEM THROUGHOUT THE ENTIRE ELECTRICAL SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE CANADIAN ELECTRICAL CODE AND TO THE SATISFACTION OF THE LOCAL AUTHORITY.

# 3.3. LIGHTING:

- 3.3.1. FOR ALL LIGHTING FIXTURES, CONTRACTOR SHALL BE RESPONSIBLE FOR ASSEMBLY, INSTALLATION AND WIRING, COMPLETE WITH ACCESSORIES.
- 3.3.2. ALL NEW LIGHTING FIXTURES SHALL BE SUPPORTED INDEPENDENT OF THE CEILING SYSTEM TO THE APPROVAL OF THE CANADIAN ELECTRICAL CODE.
- 3.4. EXIT AND EMERGENCY LIGHTING:
- 3.4.1. PROVIDE ALL NEW EXIT LIGHTS AND EMERGENCY LIGHTING AS NOTED ON THE DRAWINGS.
- 3.4.2. ALL EQUIPMENT SHALL COMPLY WITH C22.2.141.
- 3.4.3. BATTERY UNITS SHALL BE AS SPECIFIED WITH 10 YEAR DESIGN LIFE, INTEGRAL HIGH/LOW CHARGER WITH INDICATING AND PILOT LIGHT, TEST SWITCH, LOW VOLTAGE CUT-OUT, AND OVERLOAD PROTECTION.
- 3.4.4. WIRING SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS.

# 4. FIRE ALARM SYSTEM:

- 4.1. THE BUILDING PRESENTLY HAS AN EXISTING FIRE ALARM SYSTEM. PROVIDE A COMPLETE FIRE ALARM SCOPE OF WORK AS INDICATED ON DRAWINGS.
- 4.2. MODIFICATION OF THE FIRE ALARM SYSTEM SHALL CONFORM TO 2015 NBC 3.2.4., CAN/ULC-S524 AND CAN/ULC-S537.
- 4.3. ALL NEW FIRE ALARM DEVICES SHALL MATCH EXISTING.
- 4.4. ALL FIRE ALARM WORK TO BE PERFORMED BY OWNER'S APPROVED SUB-TRADE AS PART OF THIS ELECTRICAL CONTRACTOR'S COST.
- 4.5. OBTAIN THE SERVICES OF THE SYSTEM MANUFACTURER TO PERFORM ANY AND ALL MODIFICATIONS REQUIRED TO CONTROL AND ANNUNCIATOR EQUIPMENT.
- 4.6. ALL WIRING FOR THE SYSTEM SHALL BE INSTALLED IN CONDUIT AND SHALL COMPLY WITH REQUIREMENTS OF THE SYSTEM
- 4.7. UPON COMPLETION OF WORK, NEW FIRE ALARM DEVICES SHALL BE VERIFIED BY A CONTRACTOR/COMPANY OTHER THAN THE INSTALLING CONTRACTOR/COMPANY. VERIFICATION SHALL INCLUDE NEW DEVICES/CABLING AND ANY EXISTING DEVICES/CABLING AFFECTED BY THE FIRE ALARM MODIFICATIONS.
- 4.8. FIRE ALARM SIGNALING BELLS SHALL BE INSTALLED IN THE SPACE TO ENSURE MINIMUM NBC CODE DICTATED ADIBILITY, QUANTITY OF BELLS SHALL BE CONFIRMED BY OWNER'S FIRE ALARM TECHNICIAN ON SITE. ALL FIRE ALARM ASSOCIATED COSTS SHALL BE INCLUDED IN THE ELECTRICAL CONTRACT.

# 5. CORE DRILLING:

- 5.1. NO ALTERATIONS BY MEANS OF CUTTING, DRILLING, TRENCHING, OR OTHERWISE, TO COLUMNS, FLOORS, ROOF, OR WALLS OF THE STRUCTURE WILL BE PERMITTED WITHOUT THE PRIOR WRITTEN APPROVAL, IN SPECIFIC TERMS BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 5.2. ALL TRENCHING ON THE FLOOR MUST BE DONE BY MEANS OF HAND CHIPPING ONLY. AT NO POINT IS IT PERMITTED TO CUT INTO THE STRUCTURAL SLAB, ALL PROPOSED CUTTING AND CORE DRILLING MUST BE SUBMITTED TO THE OWNER FOR OWNER'S PRIOR WRITTEN APPROVAL, A MINIMUM OF 30 DAYS BEFORE THE PROPOSED CORING DATE. SUBMITTAL REQUESTS SHALL BE IN SKETCH FORM SHOWING THE NUMBER, SIZE, AND DIMENSIONED LOCATIONS OF ALL PROPOSED CORING WORK.



CLIENT:

## CITY OF SAINT JOHN

15 MARKET SQUARE SAINT JOHN, NB, E2L 4L1

# CONSULTANTS:

ARCHITECT: TOSS SOLUTIONS INTERIOR DESIGN: MECHANICAL ENGINEERING: FUNDY ENGINEERING ELECTRICAL ENGINEERING: FUNDY ENGINEERING STRUCTURAL ENGINEERING: CIVIL ENGINEERING: ACOUSTIC SPECIALIST: LANDSCAPE ARCHITECT:

#### DRAWING LIST:

INTERIOR DESIGN ID0.0 GENERAL LEGENDS & KEY PLAN

ID1.0 DEMOLITION PLAN & FLOOR PLAN

ID2.0 REFLECTED CEILING PLAN: DEMOLITION & NEW ID3.0 FINISHES PLAN & SCHEDULE

ID4.0 INTERIOR ELEVATIONS ID5.0 ENLARGED PLANS & DETAILS: WASHROOMS ID6.0 DOOR, FRAME, & HARDWARE DETAILS & SCHEDULES

MECHANICAL: M1 PLUMBING

M2 VENTILATION M3 SPECIFICATIONS

E1.0 DEMOLITION AND NEW - POWER & COMMUNICATION

E3.0 ELECTRICAL SPECIFICATIONS

E2.0 DEMOLITION AND NEW - LIGHTING LAYOUT

| SUBM | ISSIONS  |           |          |              |    |
|------|----------|-----------|----------|--------------|----|
|      |          |           |          |              |    |
|      |          | Drawn By: |          | Approved By: |    |
|      |          |           |          |              |    |
|      |          | Drawn By: |          | Approved By: |    |
|      |          |           |          |              |    |
|      |          | Drawn By: |          | Approved By: |    |
|      |          |           |          |              |    |
|      |          | Drawn By: |          | Approved By: |    |
|      |          |           |          |              |    |
|      |          | Drawn By: |          | Approved By: |    |
| 0    | JULY 14, |           | ISSUED F | OR TENDER    |    |
| 0    | 2023     | Drawn By: | MG       | Approved By: | CA |
| REV. | DATE     | ISSUE     |          |              |    |

THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF TOSS SOLUTIONS. THIS DOCUMENT MAY NOT BE FORWARDED TO OTHERS, TRANSMITTED, DOWNLOADED, OR REPRODUCED IN ANY FORMAT, WHETHER PRINT OR ELECTRONIC, WITHOUT THE EXPRESS, WRITTEN PERMISSION OF TOSS SOLUTIONS

# PROFESSIONAL SEAL



**PROJECT NAME:** 

LIVING QUARTERS FIRE STATION NO.

45 LEINSTER STREET SAINT JOHN, NB, E2L 1H9

DRAWING TITLE: ELECTRICAL **SPECIFICATIONS** 

**PROJECT NO:** DATE JUNE 14, 2023 DWG. SCALE PLOT SCALE: 1/8" = 1'-0"

DWG. NO:

#### APPENDIX B – FORM OF TENDER

# TENDER No. 2023-085103T RETROFIT OF LIVING QUARTERS – FIRE STATION 1

#### FORM OF TENDER

#### 2023-085103T RETROFIT OF LIVING QUARTERS – FIRE STATION 1

The undersigned bidder has carefully examined the specifications and scope of work, and also visited the premises to become familiar with the conditions, character and extent of work.

The undersigned bidder has determined the quality and quantity of labour, materials and equipment required, and has the capability to comply with the terms and conditions herein described.

The undersigned bidder further agrees to provide all necessary equipment, tools, labour and materials which are necessary to complete the work in accordance with the contract and agrees to accept, therefore, in payment in full, in accordance with the terms, conditions, specifications, and drawings, the sum of:

| \$                           |  |
|------------------------------|--|
| Total Cost (All Taxes Extra) |  |

\*Pricing is to be bid in Canadian Funds and FOB Saint John, NB prepaid. The tender pricing shall include all installation wages, fringe benefits, insurance, transportation, delivery, duty, working tools, equipment costs, and any other charges incurred in order to provide required materials and/or services.

| COMPANY:     | SIGNATURE:   |
|--------------|--------------|
| E-MAIL:      | NAME:(print) |
| Date:        | Tel # Fax #  |
| H.S.T. Reg.# | Remarks:     |

#### APPENDIX C – FORM OF AGREEMENT

# TENDER No. 2023-085103T RETROFIT OF LIVING QUARTERS – FIRE STATION 1

#### AGREEMENT BETWEEN OWNER AND CONTRACTOR

THIS AGREEMENT made in triplicate between **THE CITY OF SAINT JOHN** herein (and in the Specifications) called the "Owner" or the "City"

| AND   |  |
|---|--|
|   |  |
| herein (and in the Specifications) called the "Contractor". |  |

WITNESSETH: That the Owner and the Contractor agree as follows:

(a) The Contractor shall provide all the materials and perform all the work shown on the drawings and described in the Contract Specifications titled:

| Contrac | ct No: | 202    | 3-085103 | ST   |        |        |       |             |
|---------|--------|--------|----------|------|--------|--------|-------|-------------|
| Title:  | RETR   | OFIT O | F LIVING | QUAR | TERS - | - FIRE | STATI | <u>ON 1</u> |

- (b) The Contractor shall do and fulfill everything indicated by this Agreement; and
- (c) The Contractor shall Substantially Complete the Work no later than October 31th, 2023.

#### **CONTRACT DOCUMENTS**

#### **General Specifications**

General Specifications, City of Saint John, New Brunswick, with all applicable divisions, as updated and as listed in the Table of Contents of the Contract Specifications.

#### **Contract Specifications**

Contract No: \_\_2023-085103T\_\_\_\_\_

Title: RETROFIT OF LIVING QUARTERS – FIRE STATION 1

City of Saint John, New Brunswick,

| <u>Drawings</u> |  |
|-----------------|--|
| ID0.0           | General Legend & Key Plans                 |
| ID1.0           | Demolition Plan & Floor Plan               |
| ID2.0           | Reflected Ceiling Plan: Demolition & New   |
| ID3.0           | Finish Plan & Schedule                     |
| ID4.0           | Interior Elevations                        |
| ID4.1           | Casework Sections, Note & Hardware         |
| ID5.0           | Enlarged Plan & Details: Washrooms         |
| ID6.0           | Door, Frame, & Hardware Details & Schedule |
| ID7.0           | Interior Specifications                    |
| M1              | Plumbing                                   |
| M2              | Ventilation                                |
| M3              | Specification                              |

#### Drawings - Cont.

| E1.0 Demolition and New Power & Communication Layou | ut |
|---|----|
|---|----|

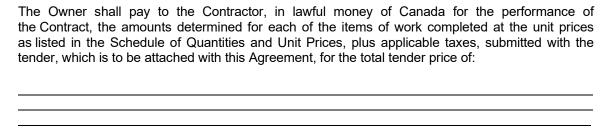
E2.0 Demolition and New Lighting Layout

E3.0 Electrical Specifications

#### **ADDENDA**

The Contractor agrees that he has received addenda \_\_\_ to \_\_\_ inclusive, and that the tender price includes the provisions set out in the addenda.

#### **CONTRACT PRICE**



If the Engineer orders in writing the performance of any work not covered by the drawings or included in the specifications that cannot be classified as coming under any of the contract units and for which a unit price can be agreed upon, then such additional work shall be paid for as described under the General Administration of Contract, Division 6.

#### **PAYMENT**

The Owner shall pay on account of thereof upon the Engineer's Certificate, as invoiced by the Contractor and approved by the Engineer, in the manner described in the Specifications.

#### **AGREEMENT DOCUMENTS**

The General Administration of Contract, Division 6 and the aforesaid Specifications and Drawings are all to be read into and form part of this Agreement and the whole shall constitute the Contract between the parties and it shall inure to the benefit of and be binding upon them and their successors, executors, administrators, and subject to the General Administration of Contract, their assigns.

### **EXECUTION OF AGREEMENT**

In Witness Whereof the parties hereto have executed this Agreement.

|                  | ) SIGNED, SEALED AND DELIVERED           |  |  |
|------------------|--|--|--|
|                  | ) this, day of,,                         |  |  |
|                  | ) by<br>) (Contractor)                   |  |  |
| (Witness)        | )<br>) (Signature)<br>)                  |  |  |
| (Name and Title) | ) (Name and Title)                       |  |  |
|                  | )<br>)                                   |  |  |
|                  | )<br>)    (Name and Title)<br>)          |  |  |
|                  | ) PLACE SEAL HERE                        |  |  |
|                  | )<br>)<br>) SIGNED, SEALED AND DELIVERED |  |  |
|                  | ) this, day of,,                         |  |  |
|                  | )<br>) by THE CITY OF SAINT JOHN.<br>)   |  |  |
|                  | )<br>)<br>) MAYOR<br>)                   |  |  |
|                  | )<br>) COMMON CLERK<br>)                 |  |  |
|                  | )<br>)<br>) PLACE SEAL HERE              |  |  |

#### **AFFIDAVIT OF CORPORATE EXECUTION**

Note:

| CANA   | ADA  |                           |                                  |
|--------|--|---------------------------|----------------------------------|
| PRO\   | VINCE OF NEW BRUNSWICK   |                           |                                  |
| CITY   | OF SAINT JOHN  |                           |                                  |
| I,     |  | _, of the                 |                                  |
|        | e County of  |                           |                                  |
|        | E OATH AND SAY:  |                           |                                  |
| (1)    | THAT I am the  | of                        | , and                            |
|        | is the   |                           | of the said Company, as such     |
|        | am/we are duly authorized officer(s) of th   |                           |                                  |
| (2)    | THAT the signature   |                           | subscribed to the withir         |
|        | instrument is my signature and in  | my own proper handw       | riting and that the signature    |
|        | so   | subscribed is his signatu | ure made thereto by him in my    |
|        | presence.  |                           |                                  |
| (3)    | THAT the Seal affixed to the said inst  Company and was affixed to the said inst  Company. | i                         | s the Corporate Seal of the said |
| SWO    | ORN TO BEFORE ME at the  | )                         |                                  |
| o.f    |  | )                         |                                  |
| OI     |  | )                         |                                  |
| in the | e Province of  | )                         |                                  |
|        |  | )                         |                                  |
| this _ | day of A.D.,   | )                         |                                  |
|        |  | )                         |                                  |
| COM    | IMISSIONER OF OATHS  | ) CONTRACT                | OR                               |
|        |  | )                         |                                  |

The blank spaces are to be filled in with the name or names of the signing officer(s).