

Additions

Application Checklist & Submission Package



This document and all attachments are provided as assistance to persons seeking certain approvals and permits as required by various by-laws of the City of Saint John and other acts and regulations. Should there be a discrepancy between this document, and all attachments, and the associated by-law, act or regulations, the associated by-law, act or regulation shall prevail.

Building & Development Permit Application

Checklist required for a complete application for:

➤ Additions (Residential)

(includes attached garages, porches, covered decks, carports, breezeways)

HERITAGE: If building is in a “Heritage Conservation Area” please contact the Heritage Officer for requirements, analysis and approval prior to applying for a building permit. All aspects of exterior work / alteration to the building require Heritage approval.

FLOOD RISK AREA: If the building is located within the Flood Risk Area, any alteration to the footprint of the building may require analysis and purchase of compensatory storage. Please contact us for Flood Risk Area Development approval prior to applying for a building permit.

Applicant must submit all that are applicable:

- Completed **Application Form** signed
- Permit Fee** and **Refundable Deposit**
- Floor Plans**
- Foundation Plan**
- Cross Section**
- Elevations** (all 4 sides) noting building height
- Site Plan** showing
 - size of lot
 - dimensions from each property line to building(s)
 - driveway access / width
 - parking (if applicable)
 - landscaping (if applicable)
- Storm Water / Rough Grading Plan** (1 unit, 2 unit or semi-detached residential building) if there is an approved Grading Plan previously approved for the subdivision / lot



- Storm Water Drainage Sketch** (1 unit, 2 units or semi-detached residential building) on site plan show storm water arrows indicating the direction of drainage / slope of lot (must include any ditches and swales).
 - Storm Drainage Submission** (3 or more dwelling units, townhouses, commercial, industrial, institutional)
- Or
- Professional Engineer stamped certification letter** where practical
 - Energy Efficiency Information** (form available or info may be noted on cross section drawing)
 - Window** information
 - Door** information
 - Ventilation** information / **Mechanical** information (if applicable)
 - Truss Layouts** (for roof and floor)
 - If adding a 4th dwelling unit, Barrier Free Regulations apply / please contact the One Stop Development Shop for any questions
 - Other information** may also be required to complete the application. It is therefore strongly recommended that the applicant consult with City staff prior to submission.
 - You may be subject to **Fire Marshall / Saint John Fire Prevention** approval – please contact them directly for inquiries at (506)658-2962 or fireprevention@saintjohn.ca

Additional Permits which may be required:

- Water and Sewer Permit** (any alteration / connection to city water and/or sewer services)
- Excavation Permit** (any alteration within the street right of way)
 - o cutting the curb to create, relocate or widen driveway
 - o create / install culvert
 - o any water and sewer connection into the city water / sewer main





Schedule F: Tiers

| For the purposes of this schedule MICI means: |
|---|
| Multi-unit dwellings of 3 units and above; |
| Industrial buildings or structures; |
| Commercial buildings or structures; |
| Institutional buildings or structures; |
| And any other building or structure that is not a Minor and Medium Residential. |

| TIER 1 |
|--|
| Minor and Medium Residential Window and Door |
| Minor and Medium Residential Deck |
| Minor and Medium Residential Siding |
| Minor and Medium Residential - Interior Renovations Value less than \$20,000 |
| Minor and Medium Residential - Exterior Renovations Value less than \$20,000 |
| Minor and Medium Residential - Accessory Building and Garage |
| All Demolitions |
| Electrical |

| TIER 2 |
|--|
| Minor and Medium Residential – New |
| Minor and Medium Residential - New dwelling unit or secondary suite |
| Minor and Medium Residential - Addition |
| Minor and Medium Residential- Interior Renovations Value \$20,000 and greater |
| Minor and Medium Residential - Exterior Renovations Value \$20,000 and greater |
| MICI - Interior Renovations Value less than \$25,000 |
| MICI - Exterior Renovations Value less than \$25,000 |
| MICI - Change of Occupancy, no renovations |
| Mobile Home |
| Tents |

| TIER 3 |
|--|
| MICI - New |
| MICI - Addition |
| MICI - New dwelling unit |
| MICI - Interior Renovations Value \$25,000 and greater |
| MICI - Exterior Renovations Value \$25,000 and greater |

| | | | | |
|--|--|---|---|--|
| LOCATION | CIVIC ADDRESS : | | PID # : | |
| STAFF USE | HERITAGE AREA: Y / N INTENSIFICATION AREA: Y / N FLOOD RISK AREA: Y / N APPROVED GRADING PLAN: Y / N | | | |
| | APPLICATION #: | | DATE RECEIVED: | |
| | | | RECEIVED BY: | |
| APPLICANT INFORMATION | APPLICANT | EMAIL | PHONE | |
| | MAILING ADDRESS | | POSTAL CODE | |
| | CONTRACTOR | EMAIL | PHONE | |
| | MAILING ADDRESS | | POSTAL CODE | |
| | OWNER | EMAIL | PHONE | |
| | MAILING ADDRESS | | POSTAL CODE | |
| PRESENT USE: | | PROPOSED USE: | | |
| CHECK ALL THAT APPLY | BUILDING | PLANNING | INFRASTRUCTURE | HERITAGE |
| | <input type="checkbox"/> INTERIOR RENOVATION | <input type="checkbox"/> NEW CONSTRUCTION | <input type="checkbox"/> VARIANCE | <input type="checkbox"/> STREET EXCAVATION |
| | <input type="checkbox"/> EXTERIOR RENOVATION | <input type="checkbox"/> ACCESSORY BLDG | <input type="checkbox"/> PLANNING LETTER | <input type="checkbox"/> DRIVEWAY CULVERT |
| | <input type="checkbox"/> ADDITION | <input type="checkbox"/> POOL | <input type="checkbox"/> PAC APPLICATION | <input type="checkbox"/> DRAINAGE |
| <input type="checkbox"/> DECK | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> COUNCIL APP | <input type="checkbox"/> WATER & SEWERAGE | |
| <input type="checkbox"/> CHANGE OF USE | <input type="checkbox"/> SIGN | <input type="checkbox"/> SUBDIVISION | <input type="checkbox"/> OTHER | |
| <input type="checkbox"/> MINIMUM STANDARDS | <input type="checkbox"/> OTHER | <input type="checkbox"/> OTHER | <input type="checkbox"/> HERITAGE DEVELOPMENT | |
| | | | <input type="checkbox"/> HERITAGE SIGN | |
| | | | <input type="checkbox"/> HERITAGE INFILL | |
| | | | <input type="checkbox"/> HERITAGE DEMO | |
| | | | <input type="checkbox"/> OTHER | |
| | REQUIRED: | BUILDING SPRINKLERED: Y / N | FIRE ALARM: Y / N | |
| DESCRIPTION OF WORK | | | | |
| | PROJECT ESTIMATE (IF APPLICABLE) | | | |

I consent to the City of Saint John sending to me commercial electronic messages, from time to time, regarding City initiatives and incentives.

General Collection Statement

This information is being collected in order for the City of Saint John to deliver an existing program / service; the collection is limited to that which is necessary to deliver the program / service. Unless required to do so by law, the City of Saint John will not share your personal information with any third party without your express consent.

The legal authority for collecting this information is to be found in the Municipalities Act and the Right to Information and Protection of Privacy Act. For further information or questions regarding the collection of personal information, please contact the Access & Privacy Officer:

City Hall Building
 15 Market Square Saint
 John, NB E2L 1E8
commonclerk@saintjohn.ca
 (506) 658-2862



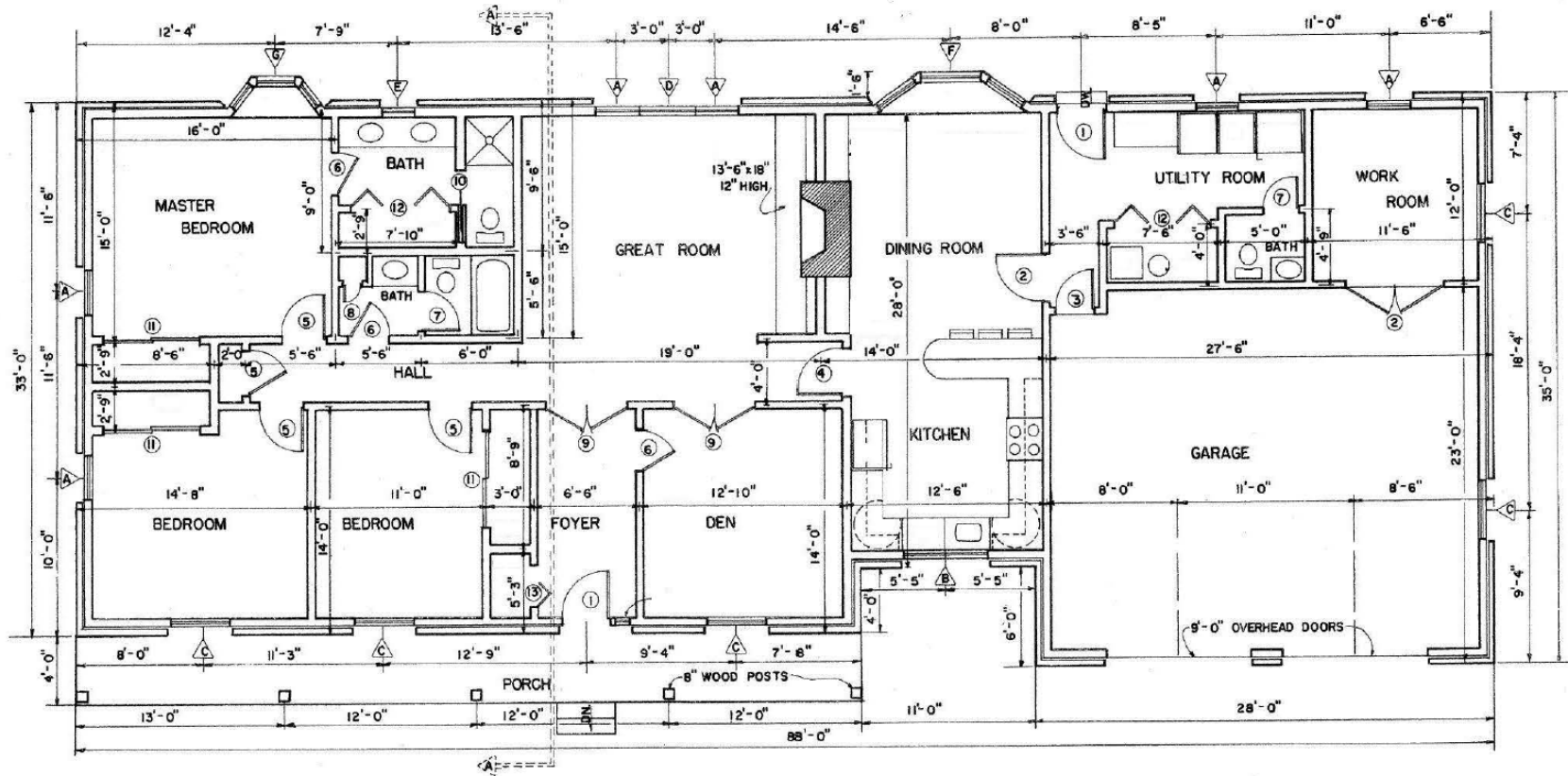
I, the undersigned, hereby apply for the permit(s) or approval(s), indicated above for the work described on plans, submissions and forms herewith submitted. This application includes all relevant documentation necessary for the applied for permit(s) or approval(s). I agree to comply with the plans, specifications and further agree to comply with all relevant City By-laws and conditions imposed.

 Applicant Name

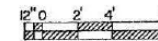
 Applicant Signature

 Date

FLOOR PLANS EXAMPLE



FLOOR PLAN

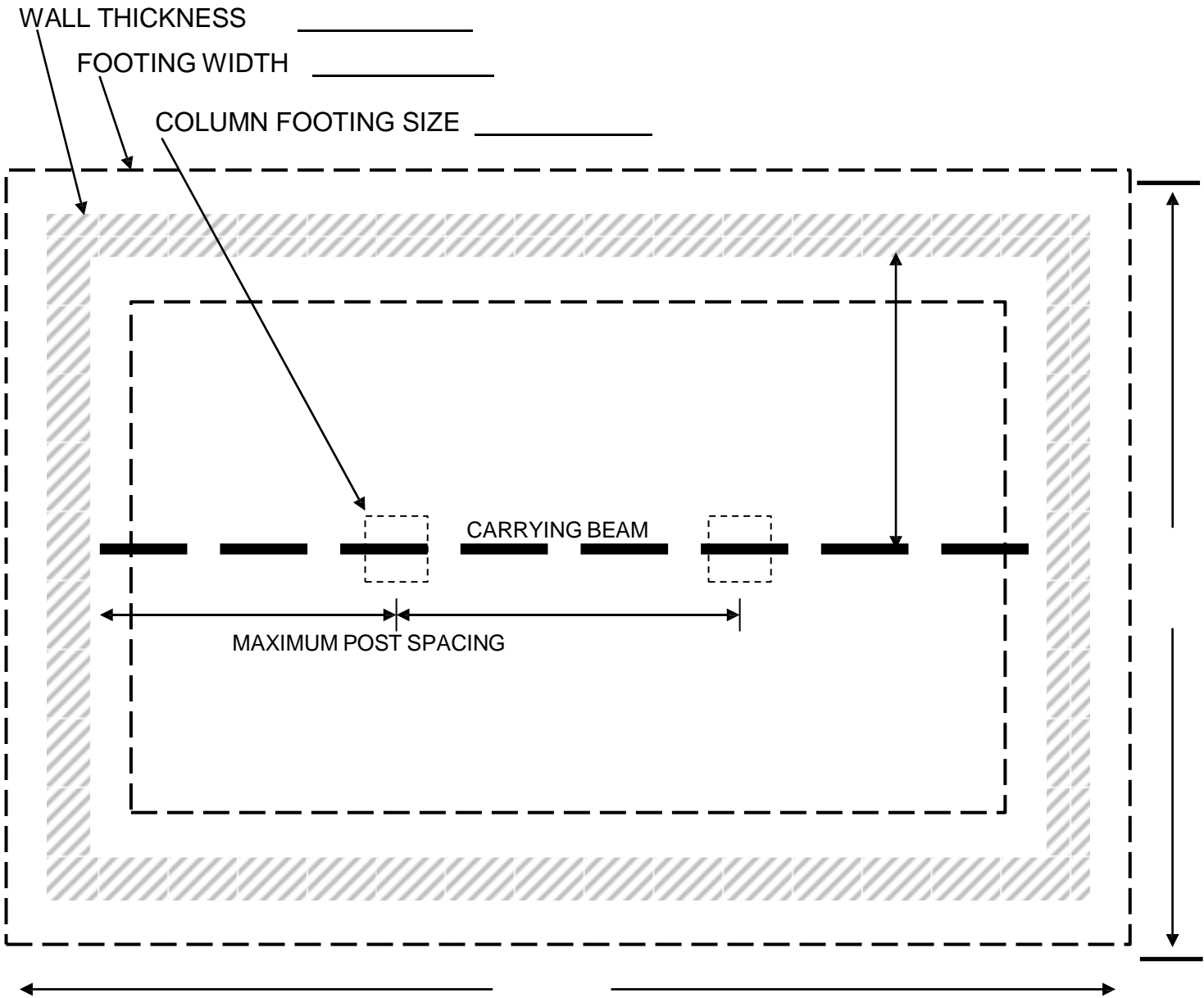


SCALE 3/16" = 1' - 0"

FOUNDATION - TYPICAL

(Part 9 National Building Code – Residential)

| | |
|----------------------------|-------------|
| NUMBER OF FLOORS SUPPORTED | |
| CARRYING BEAM SIZE | |
| FLOOR JOIST SIZE | |
| FLOOR JOIST SPACING | |
| FLOOR JOIST SPAN | See diagram |
| MAXIMUM POST SPACING | See diagram |

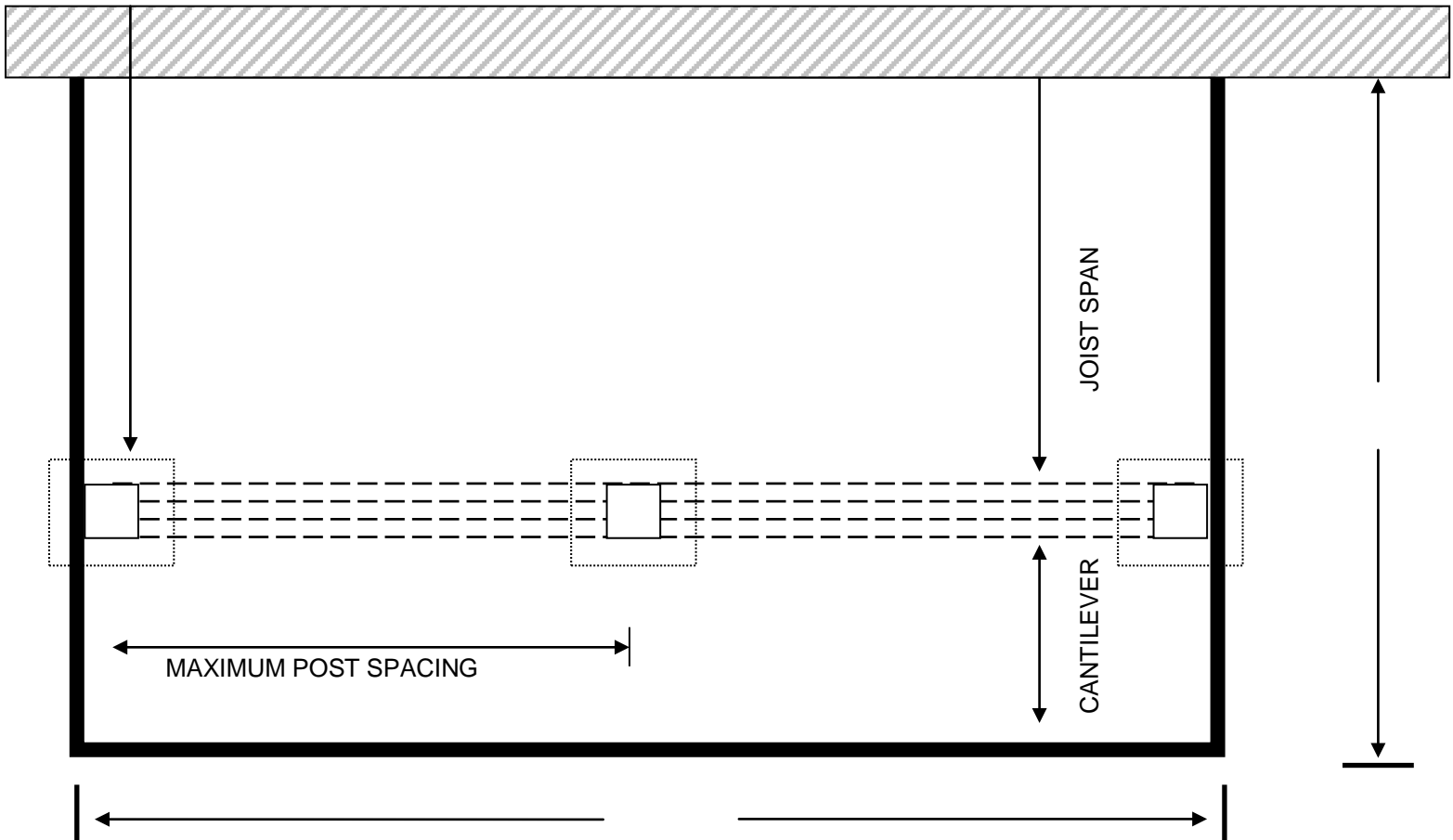


FOUNDATION - POST & BEAM

(Part 9 National Building Code – Residential)

| | |
|----------------------------|-------------|
| NUMBER OF FLOORS SUPPORTED | |
| CARRYING BEAM SIZE | 3 @ 2 x |
| FLOOR JOIST SIZE | |
| FLOOR JOIST SPACING | |
| FLOOR JOIST SPAN | See diagram |
| MAXIMUM POST SPACING | See diagram |
| CANTILEVER | See diagram |

COLUMN FOOTING SIZE _____



TYPICAL WALL SECTION (EXTERIOR) - SINGLE STOREY (RESIDENTIAL)

Roof Construction

FINISH: Shingles ___ Metal ___ Other: _____

SHEATHING: OSB ___ Plywood ___ Boards: _____

Thickness: _____

TRUSSES: Yes ___ No ___ (If no enter rafter info)

RAFTERS: Size _____ Spacing _____

INSULATION: Type: _____ R Value _____

VAPOUR BARRIER: 6mm Poly ___ Other: _____

CEILING FINISH: Gyproc ___ Other: _____

Type: _____ Thickness _____

Wall Construction

EXTERIOR CLADDING:

Vinyl ___ Metal ___ Clapboard ___ Other: _____

HOUSE WRAP:

Tyvek ___ Typar ___ Tarpaper ___ Other: _____

EXTRUDED POLYSTYRENE _____

EXPANDED POLYSTYRENE _____ (If Applicable)

SHEATHING: OSB ___ Plywood ___ Boards _____

Thickness: _____

WALL STUD: Size _____ Spacing _____

INSULATION: Type _____ R-Value _____

VAPOUR BARRIER: 6mm Poly ___ Other: _____

INTERIOR FINISH: Gyproc ___ Other: _____

Type _____ Thickness _____

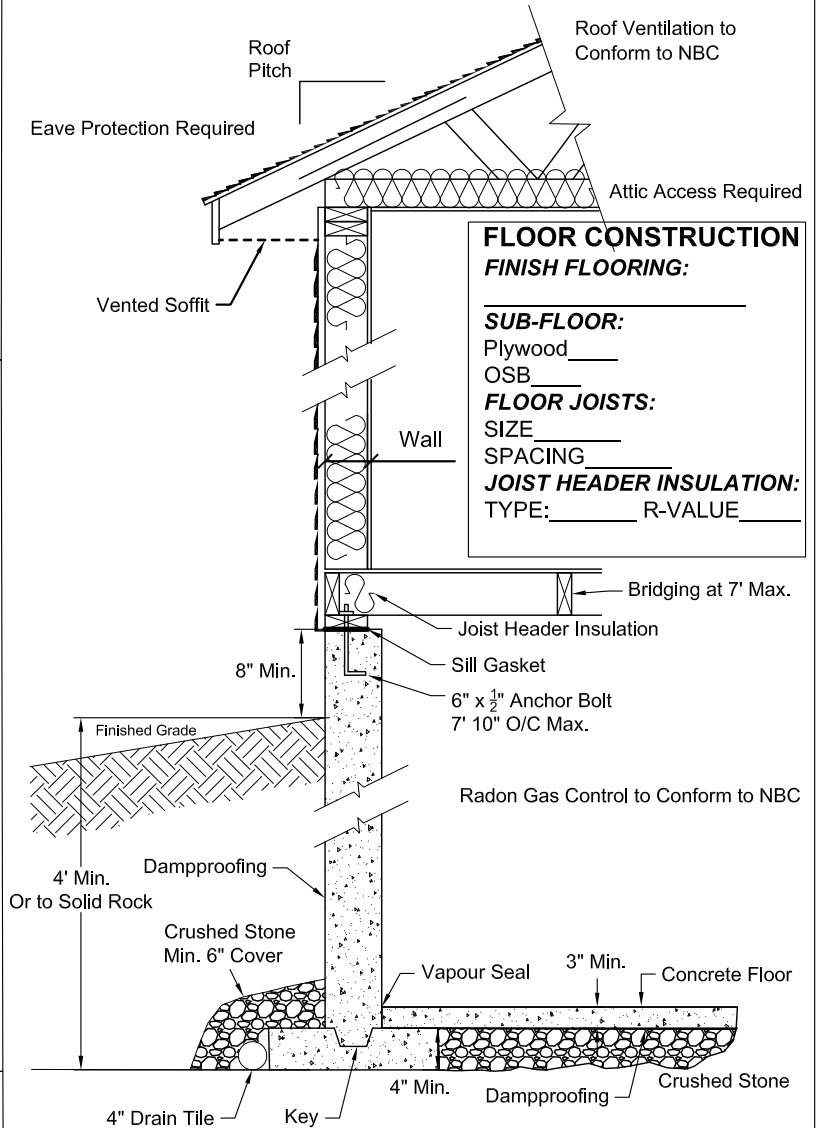
FOUNDATION

FOUNDATION WALL THICKNESS: _____

FOOTING WIDTH: _____

BELOW GRADE WALL ASSEMBLY: _____

BELOW SLAB INSULATION: _____



FLOOR CONSTRUCTION FINISH FLOORING:

SUB-FLOOR:

Plywood _____

OSB _____

FLOOR JOISTS:

SIZE _____

SPACING _____

JOIST HEADER INSULATION:

TYPE: _____ R-VALUE _____

Drawings are not to scale

TYPICAL WALL SECTION (EXTERIOR) - TWO STOREY (RESIDENTIAL)

Roof Construction

FINISH: Shingles ___ Metal ___ Other: _____
 SHEATHING: OSB ___ Plywood ___ Boards: _____
 Thickness: _____
 TRUSSES: Yes ___ No ___ (If no enter rafter info)
 RAFTERS: Size _____ Spacing _____
 INSULATION: Type: _____ R Value _____
 VAPOUR BARRIER: 6mm Poly ___ Other: _____
 CEILING FINISH: Gyproc ___ Other: _____
 Type: _____ Thickness _____

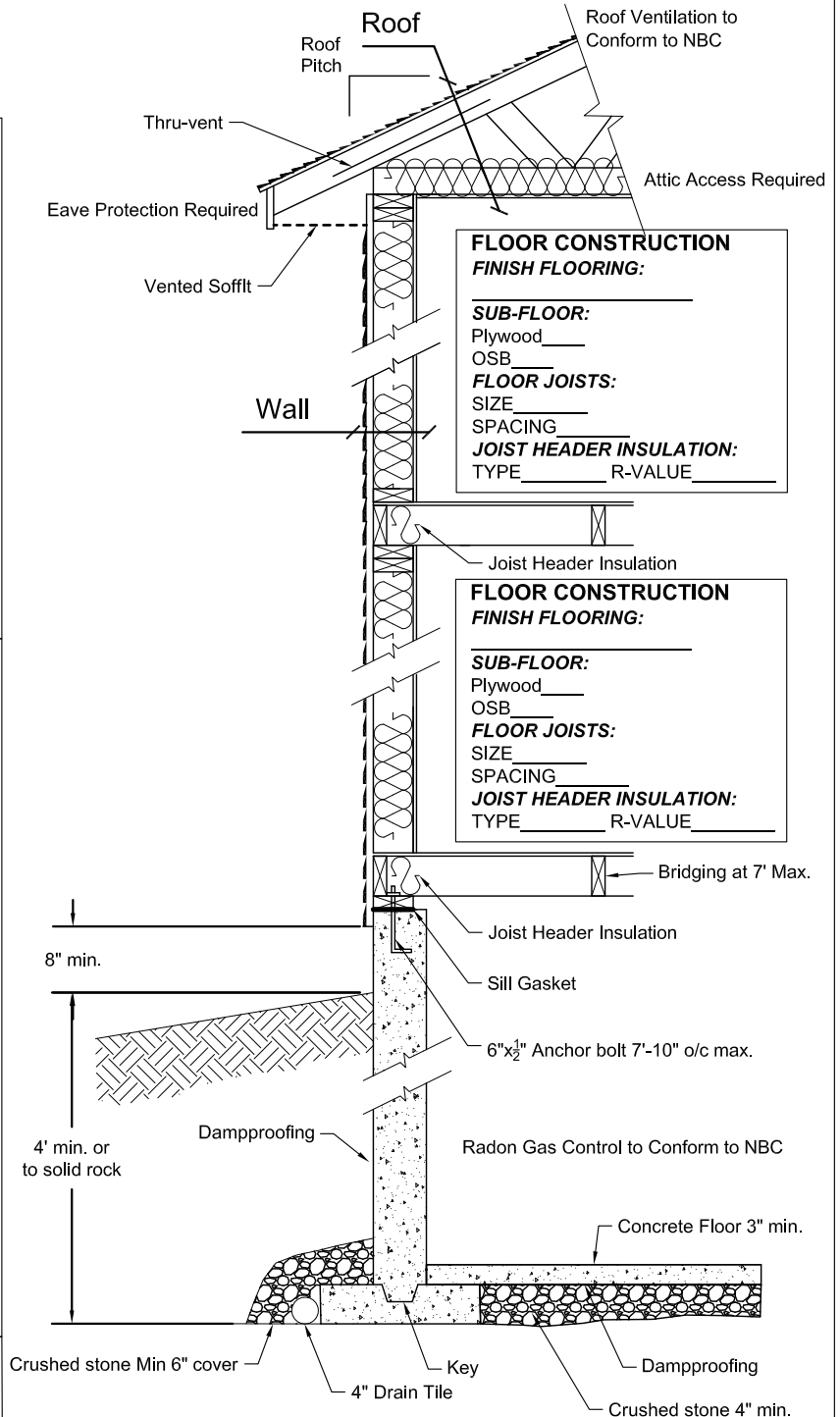
Wall Construction

EXTERIOR CLADDING:
 Vinyl ___ Metal ___ Clapboard ___ Other: _____
 HOUSE WRAP:
 Tyvek ___ Tytar ___ Tarpaper ___ Other: _____
 EXTRUDED POLYSTYRENE _____
 EXPANDED POLYSTYRENE _____ (If Applicable)
 SHEATHING: OSB ___ Plywood ___ Boards _____
 Thickness: _____
 WALL STUD: Size _____ Spacing _____
 INSULATION: Type _____ R-Value _____
 VAPOUR BARRIER: 6mm Poly ___ Other: _____
 INTERIOR FINISH: Gyproc ___ Other: _____
 Type _____ Thickness _____

FOUNDATION

FOUNDATION WALL THICKNESS: _____
 FOOTING WIDTH: _____
 BELOW GRADE WALL ASSEMBLY: _____

 BELOW SLAB INSULATION: _____



TYPICAL WALL SECTION (POST & BEAM) - SINGLE STOREY (RESIDENTIAL)

Roof Construction

FINISH: Shingles ___ Metal ___ Other: _____

SHEATHING: OSB ___ Plywood ___ Boards: _____

Thickness: _____

TRUSSES: Yes ___ No ___ (If no enter rafter info)

RAFTERS: Size _____ Spacing _____

INSULATION: Type: _____ R Value _____

VAPOUR BARRIER: 6mm Poly ___ Other: _____

CEILING FINISH: Gyproc ___ Other: _____

Type: _____ Thickness _____

Wall Construction

EXTERIOR CLADDING:

Vinyl ___ Metal ___ Clapboard ___ Other: _____

HOUSE WRAP:

Tyvek ___ Typar ___ Tarpaper ___ Other: _____

EXTRUDED POLYSTYRENE _____

EXPANDED POLYSTYRENE _____ (If Applicable)

SHEATHING: OSB ___ Plywood ___ Boards _____

Thickness: _____

WALL STUD: Size _____ Spacing _____

INSULATION: Type _____ R-Value _____

VAPOUR BARRIER: 6mm Poly ___ Other: _____

INTERIOR FINISH: Gyproc ___ Other: _____

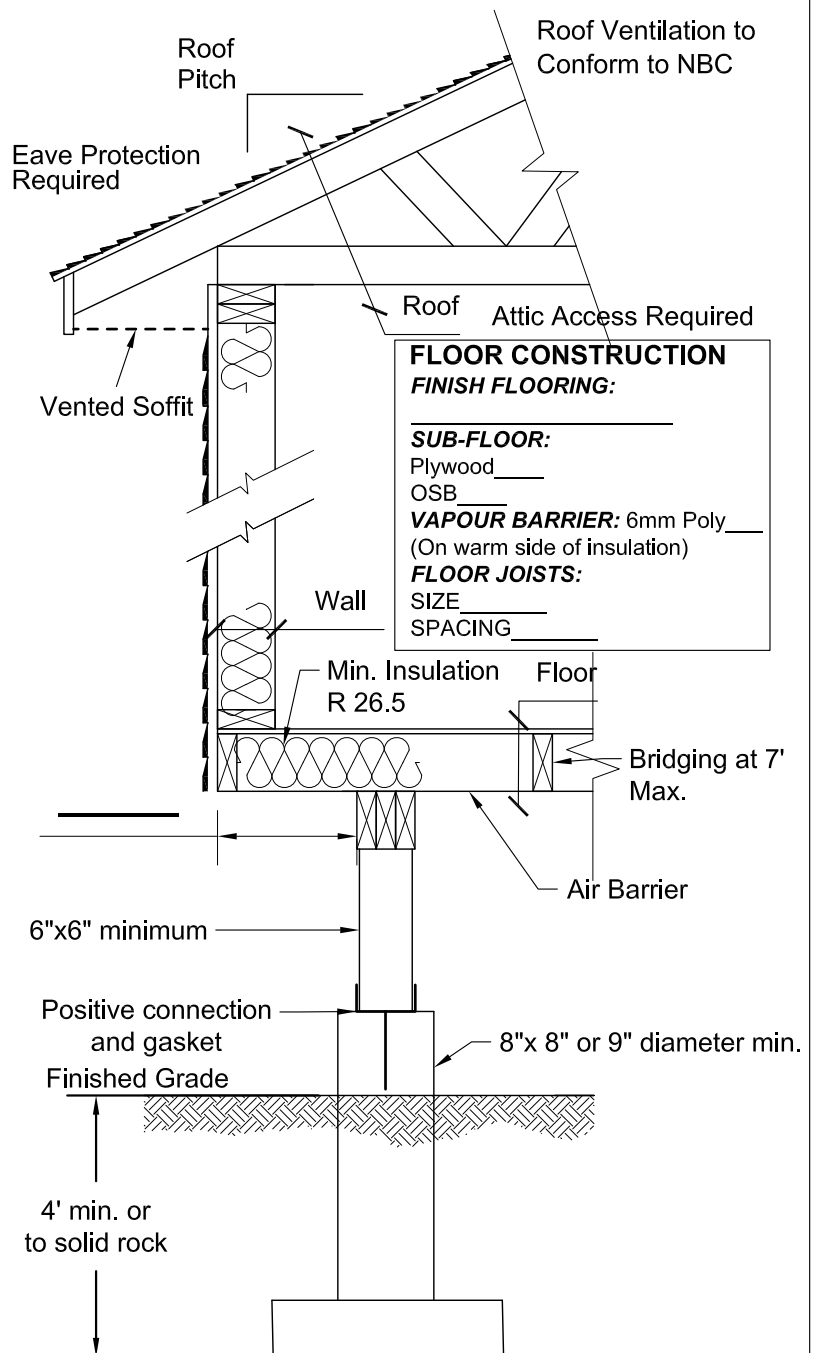
Type _____ Thickness _____

FOUNDATION

BEAM 3 @ 2" X _____

POST SIZE (6" x 6" min.): _____

FOOTING WIDTH: _____

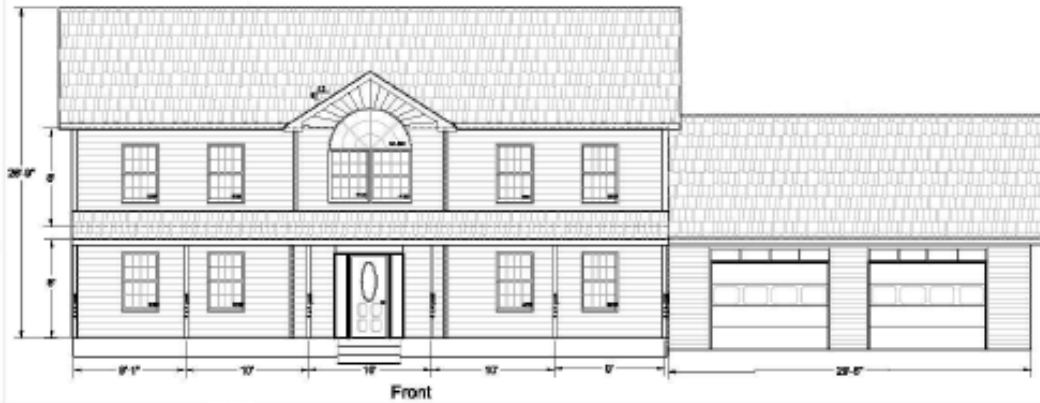


FLOOR CONSTRUCTION
FINISH FLOORING:

SUB-FLOOR:
Plywood ___
OSB ___
VAPOUR BARRIER: 6mm Poly ___
(On warm side of insulation)
FLOOR JOISTS:
SIZE _____
SPACING _____

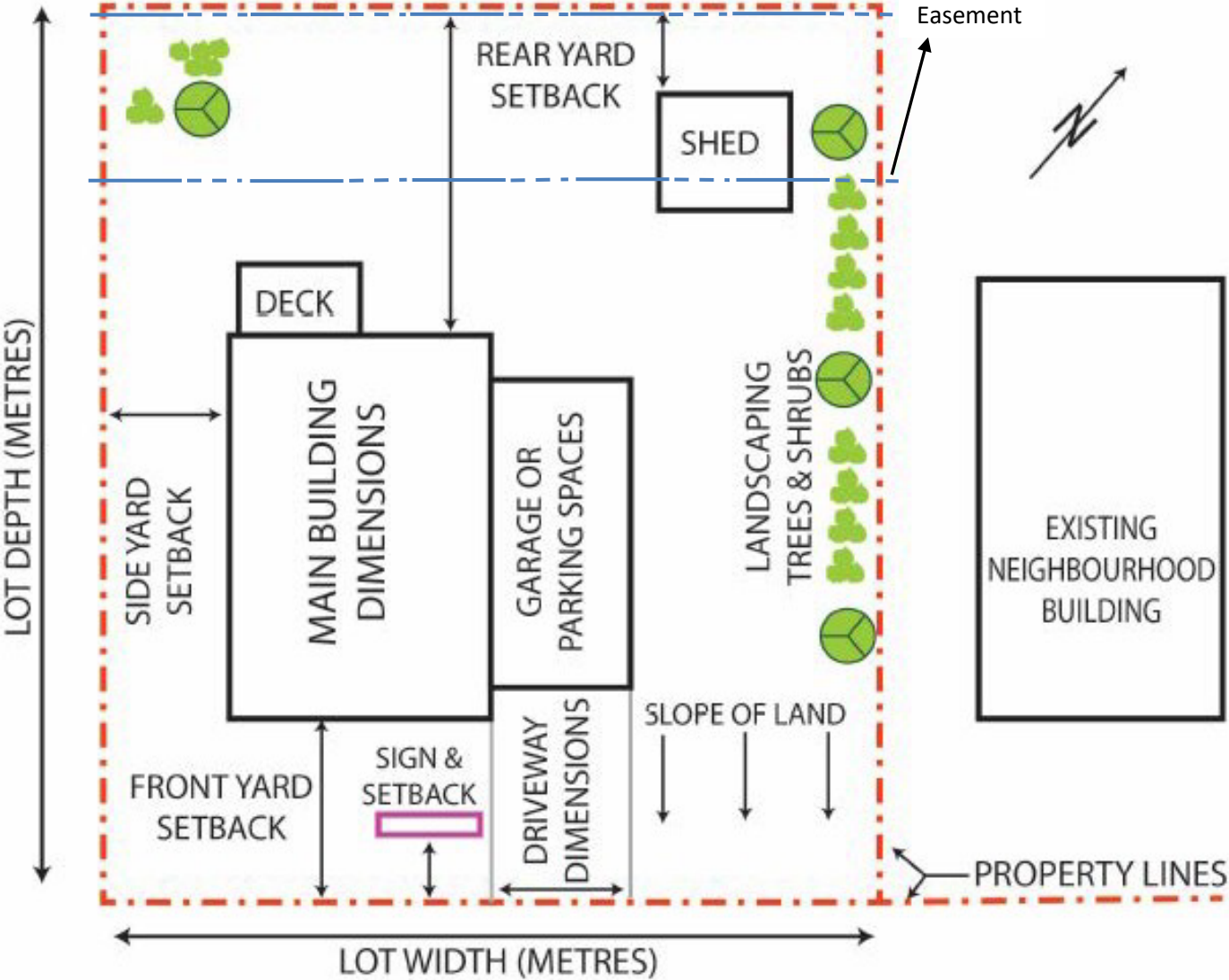
Drawings are not to scale

ELEVATIONS EXAMPLE



TYPICAL SITE PLAN EXAMPLE

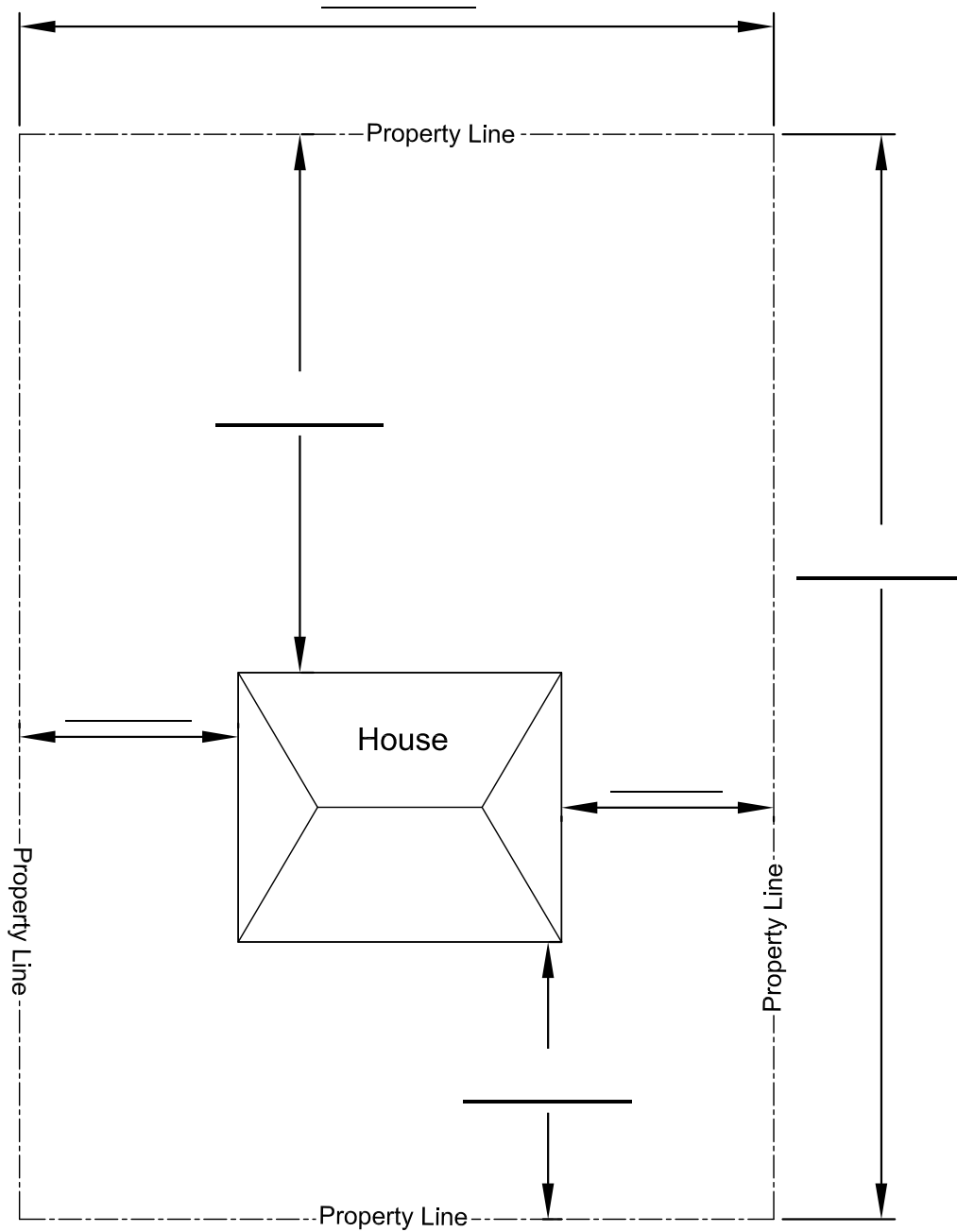
TYPICAL SITE PLAN



CIVIC NUMBER & STREET NAME

TYPICAL SITE PLAN

(ADD ACCESSORY BUILDING(S) and/or DECK(S) AS NEEDED)



Street Name : _____ *Drawings are not to scale*

(If the lot is a corner lot then indicate the intersecting street)

Number of Units : _____

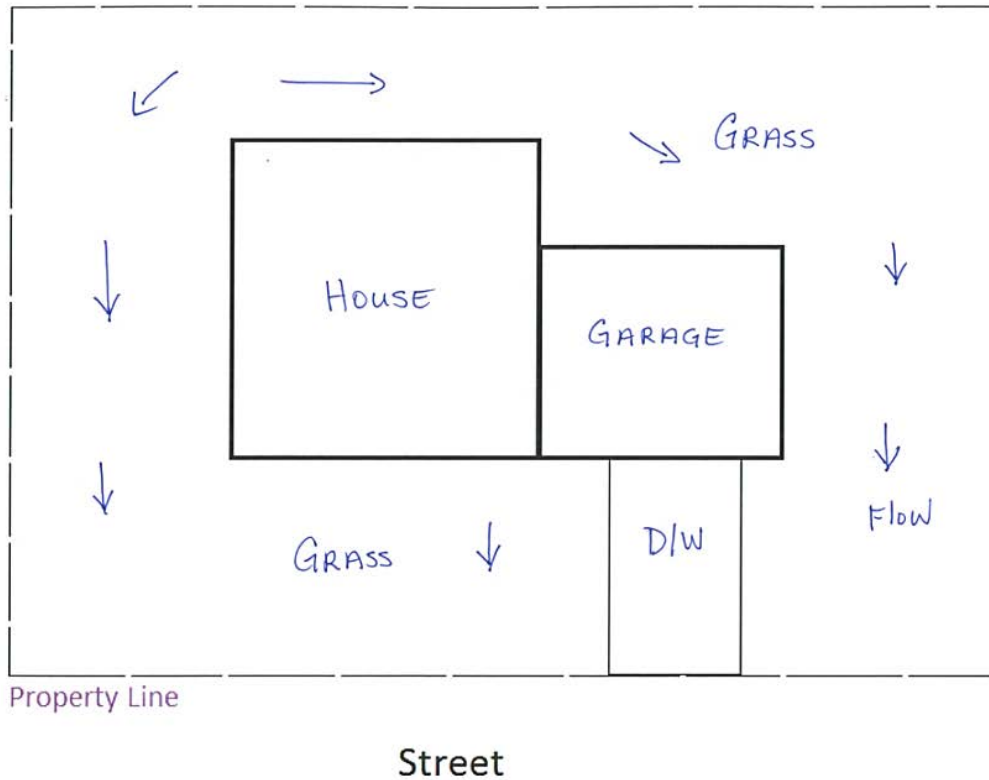
LOT DRAINAGE SKETCH

Sketch must include direction of Stormwater flow and location and grade of Surface Drainage Features. (*Building By-law; Section 9(4)*)

APPLICANT/OWNER: _____

PID #: _____

ADDRESS: _____





LOT DRAINAGE SKETCH

Sketch must include direction of Stormwater flow and location and grade of Surface Drainage Features. (*Building By-law; Section 9(4)*)

APPLICANT/OWNER: _____

PID #: _____

ADDRESS: _____



Property Line

Property Line



SAMPLE SKETCH

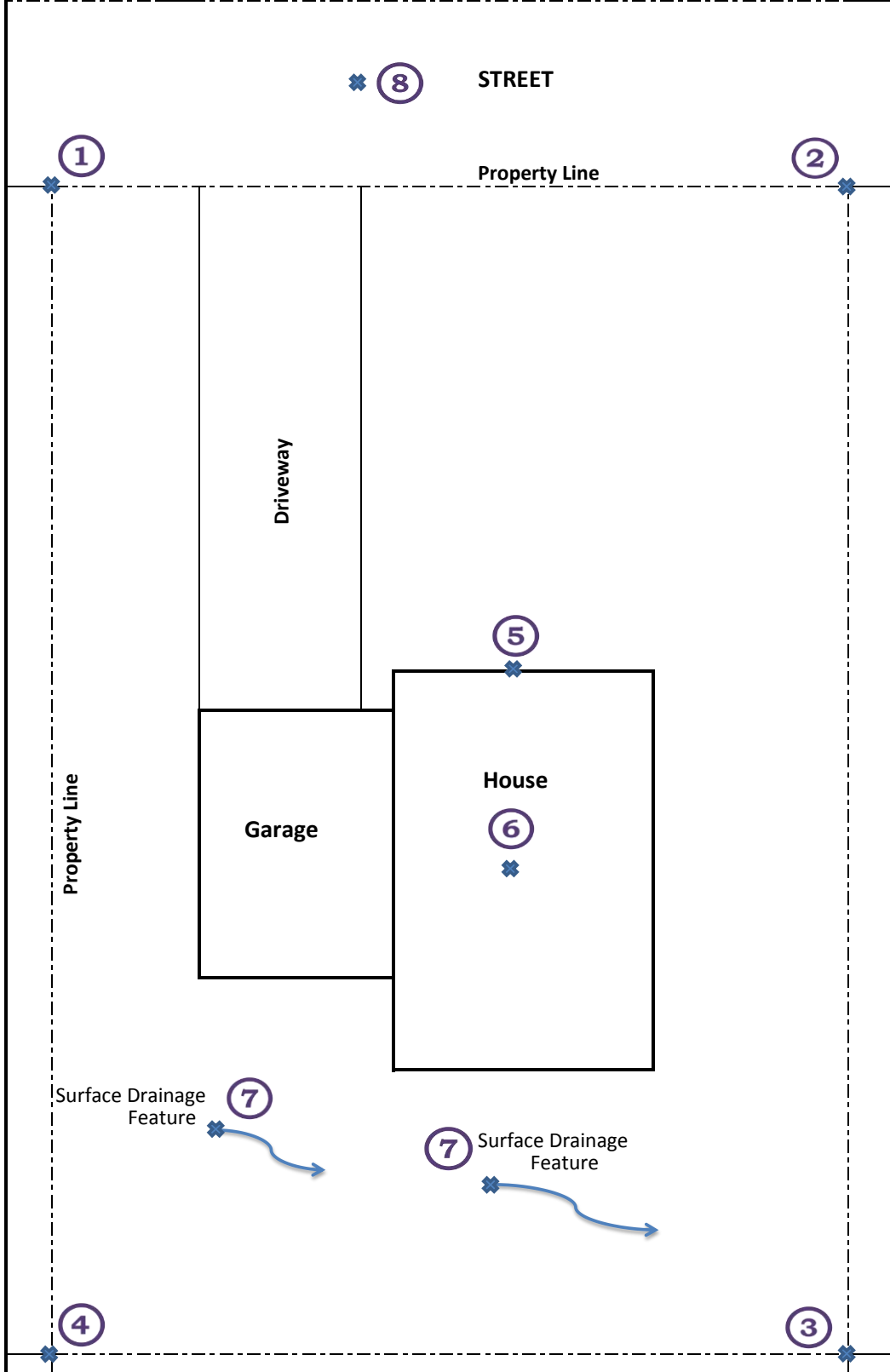
RESIDENTIAL ROUGH GRADING PLAN

APPLICANT/OWNER: _____

PID #: _____

ADDRESS: _____

APPROVED SUBDIVISION/LOT GRADING PLAN: _____



INFORMATION REQUIRED:
 All elevations to be geodetic;
 All elevations to be in metres;
 All elevations to be to three decimal places.
 Benchmark and Reference Location:

| | | Approved Grading Plan Elevation (metres) | Building Permit Application Proposed Elevation (metres) | Occupancy Permit Approval As-Built Elevation (metres) | Difference (Proposed vs As-Built) (+/- 100mm) |
|---|--|--|---|---|---|
| 1 | Elevation at the corner of the Lot | | | | |
| 2 | Elevation at the corner of the Lot | | | | |
| 3 | Elevation at the corner of the Lot | | | | |
| 4 | Elevation at the corner of the Lot | | | | |
| 5 | Top of foundation wall elevation | | | | |
| 6 | Basement floor elevation | | | | |
| 7 | Location and grade of all Surface Drainage Features (swales, depressions in finished grades, etc.) | | | | |
| 7 | Location and grade of all Surface Drainage Features | | | | |
| 8 | Elevation at centreline of Street | | | | |

PROFESSIONAL ENGINEER OR LAND SURVEYOR CERTIFICATION:

Company Information:

Name: _____
 Address: _____
 Phone: _____
 E-mail: _____

In accordance with the Saint John Building By-law,

I, _____
print name

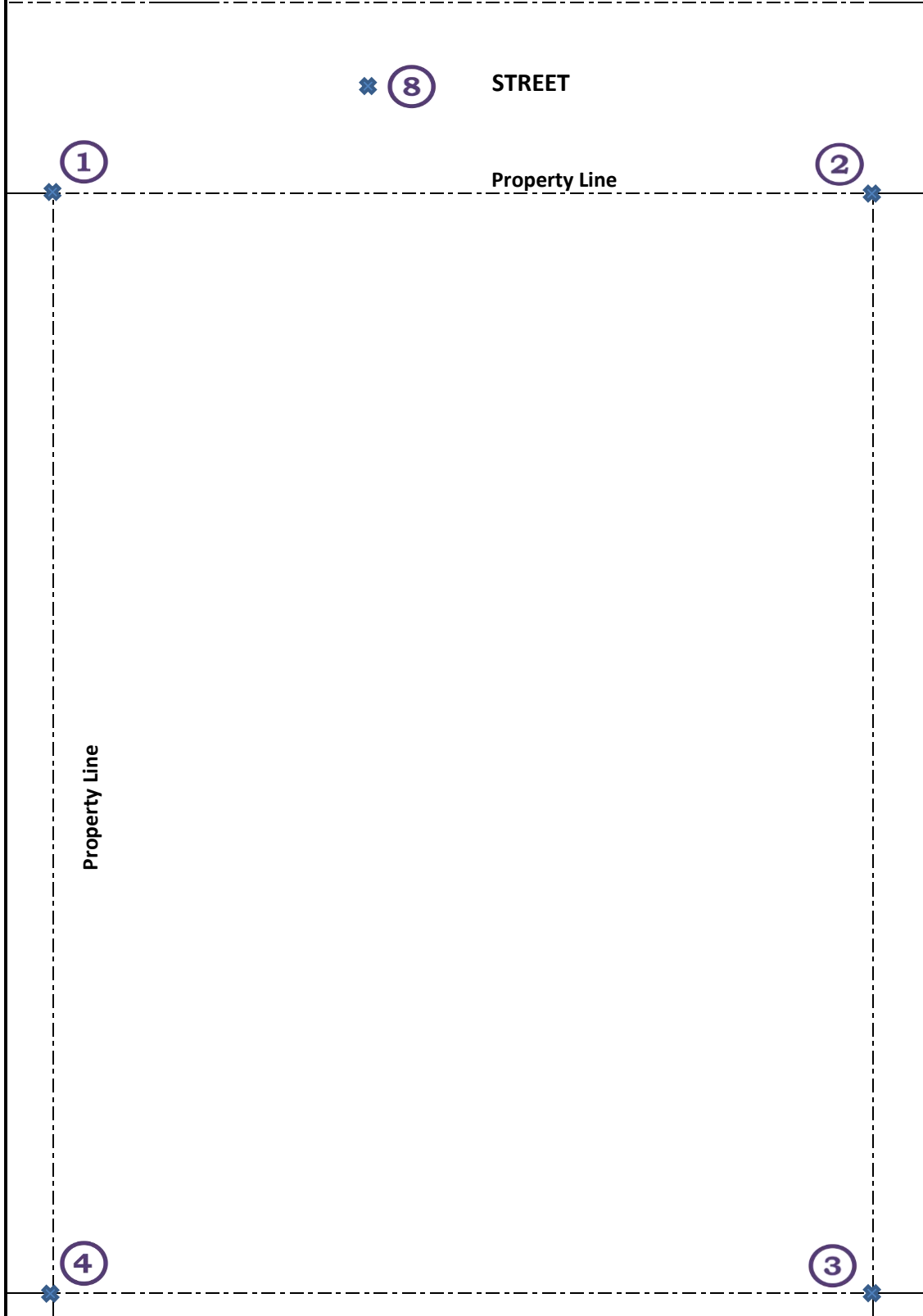
confirm the rough grading of the Lot is in general conformance with the Approved Grading Plan and within the accepted tolerance.



Professional Seal



SKETCH



RESIDENTIAL ROUGH GRADING PLAN

APPLICANT/OWNER: _____

PID #: _____

ADDRESS: _____

APPROVED SUBDIVISION/LOT GRADING PLAN: _____

INFORMATION REQUIRED:

All elevations to be geodetic;
All elevations to be in metres;
All elevations to be to three decimal places.
Benchmark and Reference Location:

| | | Approved Grading Plan Elevation (metres) | Building Permit Application Proposed Elevation (metres) | Occupancy Permit Approval As-Built Elevation (metres) | Difference (Proposed vs As-Built) (+/- 100mm) |
|---|--|--|--|--|---|
| 1 | Elevation at the corner of the Lot | | | | |
| 2 | Elevation at the corner of the Lot | | | | |
| 3 | Elevation at the corner of the Lot | | | | |
| 4 | Elevation at the corner of the Lot | | | | |
| 5 | Top of foundation wall elevation | | | | |
| 6 | Basement floor elevation | | | | |
| 7 | Location and grade of all Surface Drainage Features (swales, depressions in finished grades, etc.) | | | | |
| 7 | Location and grade of all Surface Drainage Features | | | | |
| 8 | Elevation at centreline of Street | | | | |

PROFESSIONAL ENGINEER OR LAND SURVEYOR CERTIFICATION:

Company Information:

Name: _____

Address: _____

Phone: _____

E-mail: _____

In accordance with the Saint John Building By-law,

I, _____
print name

confirm the rough grading of the Lot is in general conformance with the Approved Grading Plan and within the accepted tolerance.



Professional Seal

INSTRUCTIONS

Complete the following chart with the construction details for the project.

Table 1 - Identify each different building envelope construction and indicate the matching assembly number from those available (see Energy Efficiency Assemblies Guide for details)

<http://www.saintjohn.ca/site/media/SaintJohn/Assemblies%20Information%20Binder.pdf>.

If you will be providing your own assembly, a blank template is available for you to complete. A cross section of the assembly must be provided.

Table 2 - Identify the windows and doors in the construction, along with the model and either the ER value, the U value or the Energy Star Zone letter. **(Leave all labels on the windows for final pre-occupancy inspection.)**

Table 3 - Identify the mechanical equipment of the building including the equipment’s associated efficiency information. A form for ventilation must also be submitted (see page 3).

Table 4 - Only needs to be completed if trade-offs are being used.

PROPERTY ADDRESS:

| 1. | Type of Assembly | Assembly number | RSI or R Value | For office use |
|--------------------------|---|------------------------|-----------------------|-----------------------|
| Building Envelope | Ceilings | | | |
| | Ceilings (below attic) | | | |
| | Ceiling (cathedral and flat roof – if applicable) | | | |
| | Ceilings tray | | | |
| | | | | |
| | | | | |
| | Exterior Walls & location | | | |
| | Walls | | | |
| | Walls | | | |
| | Walls | | | |
| | Walls | | | |
| | Shared Garage Wall (if applicable) | | | |
| | | | | |
| | Joist Headers | | | |
| | Floor Joist Cavity | | | |
| | | | | |
| | | | | |
| | Basement Walls | | | |
| | Basement wall | | | |
| | Basement wall | | | |
| | | | | |
| Floors | | | | |
| Slab | | | | |
| | | | | |

City of Saint John
Prescriptive Energy Efficiency Design Detail

| 2. | In floor heating | Y/N | | |
|-------------------------------------|------------------|---|--------------|---|
| | Model | Rating (ER, U or Energy Star) | Model | Rating (ER, U or Energy Star) |
| Windows, Doors and Skylights | Windows | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | Doors | | | |
| | | | | |
| | | | | |
| | | | | |
| | Skylights | | | |
| | | | | |
| | | | | |

3. MECHANICAL SYSTEMS

| | | | |
|--------------------------------------|-------------------|--|--|
| Ventilation System | | | |
| Manufacturer | | Model | |
| Ventilation Rate | | See attached ventilation form to complete (next page) | |
| OFFICE USE | Efficiency At 0°C | At -25°C | |
| Heating & Cooling Systems | | | |
| Main System | | Manufacturer | |
| Fuel Type | | Model | |
| Heat Pump | AHRI # | | |
| OFFICE USE | Efficiency | | |
| Secondary System | | Manufacturer | |
| Fuel Type | | Model | |
| OFFICE USE | Efficiency | | |
| Other Systems | | Manufacturer | |
| Fuel Type | | Model | |
| OFFICE USE | Efficiency | | |
| Hot Water System | | | |
| Type | | Manufacturer | |
| Fuel Type | | Model | |
| OFFICE USE | Efficiency | | |

City of Saint John
Prescriptive Energy Efficiency Design Detail

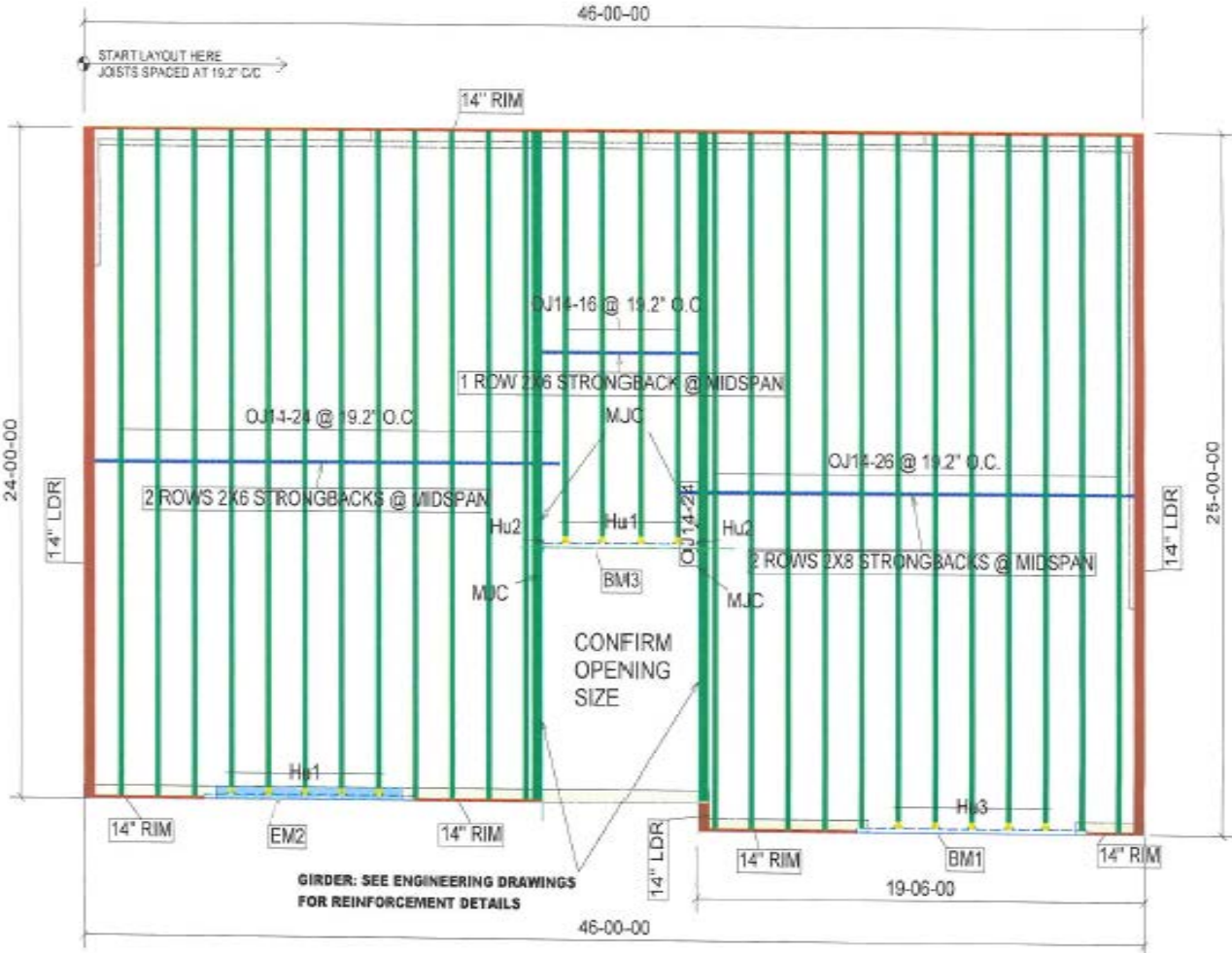
Mechanical Ventilation Record – Residential (based on HRAI form)

| Installer Information | | | |
|---|----------|-------|----------------------|
| Company | | | |
| Address | | | |
| Telephone | | Cell | |
| Contact name | | | |
| HRAI # (if applicable) | | | |
| Design method for Ventilation NBC 2010 (9.32) <input type="checkbox"/> CSA F326 <input type="checkbox"/> | | | |
| Ventilation Capacity Rate | | | |
| Room Type | Quantity | @ | Ventilation Capacity |
| Unfinished Basement | | L/s | L/s |
| Master Bedroom | | L/s | L/s |
| Bedrooms | | L/s | L/s |
| Kitchen | | L/s | L/s |
| Living Room | | L/s | L/s |
| Dining Room | | L/s | L/s |
| Bathroom | | L/s | L/s |
| Other Habitable Rooms | | L/s | L/s |
| | | L/s | L/s |
| Total Ventilation Capacity | | | L/s |
| Ventilation System | | | |
| Manufacturer | | Model | |
| Design Air Flow | | | |
| Additional Exhaust | | | |
| Bathroom Fan (quantity x air change rate L/s) = | | | |
| Kitchen Range Hood (quantity x air change rate L/s) = | | | |
| Other | | | |

City of Saint John
Prescriptive Energy Efficiency Design Detail

| | |
|--|--|
| 4. | TRADE-OFFS |
| | Only complete this form if you are using trade-offs. If you require additional room to complete the form, please attach to the application. |
| | 1. ABOVE GRADE EXTERIOR WALLS AND CEILINGS |
| Above Grade Exterior walls & Ceilings | Detail the trade offs |
| | 2. WINDOWS |
| | Trade-offs for windows must be in the same orientation and have same window surface areas. Doors cannot be traded. Only fill out the detail for the elevation you are trading. |
| Windows | |
| | 3. BUILDINGS WITH LOW CEILINGS (9.36.2.11.4) |
| | |

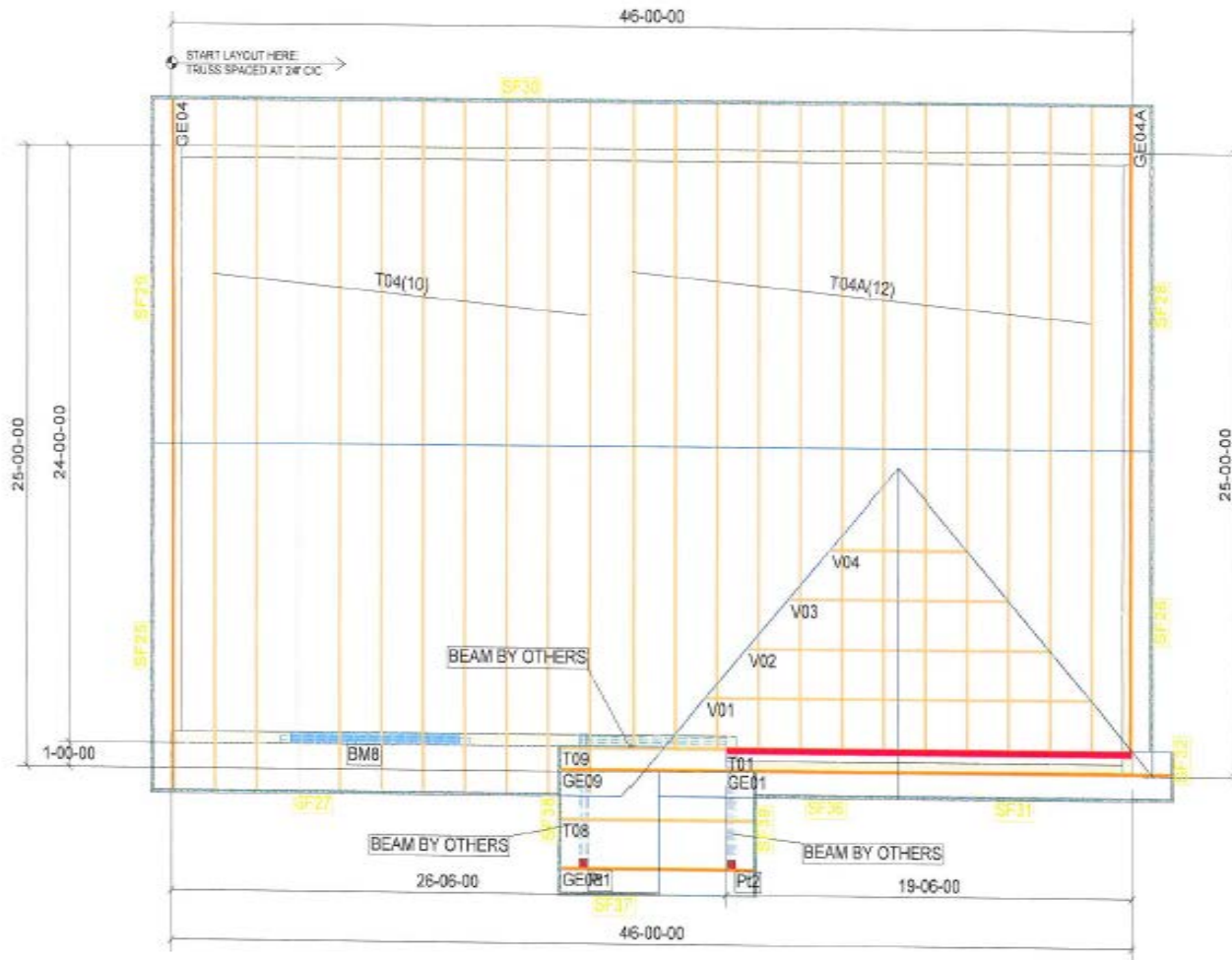
FLOOR TRUSS LAYOUT EXAMPLE



City of Saint John
 Growth and Community Development
 (506)658-2911
onestop@sainjohn.ca



ROOF TRUSS LAYOUT EXAMPLE



City of Saint John

Growth and Community Development

(506)658-2911

onestop@sainjohn.ca

One Stop
Development Shop 
PLANNING BUILDING INFRASTRUCTURE SAINT JOHN

ROOF TRUSS DRAWING EXAMPLE

