

# Interior Renovations (Residential)

## Application Checklist & Submission Package



*This document and all attachments are provided as assistance to persons seeking certain approvals and permits as required by various by-laws of the City of Saint John and other acts and regulations. Should there be a discrepancy between this document, and all attachments, and the associated by-law, act or regulations, the associated by-law, act or regulation shall prevail.*

LOCATION	CIVIC ADDRESS :		PID # :	
STAFF USE	HERITAGE AREA: Y / N INTENSIFICATION AREA: Y / N FLOOD RISK AREA: Y / N APPROVED GRADING PLAN: Y / N			
	APPLICATION #:		DATE RECEIVED:	
			RECEIVED BY:	
APPLICANT INFORMATION	APPLICANT		EMAIL	PHONE
	MAILING ADDRESS			POSTAL CODE
	CONTRACTOR		EMAIL	PHONE
	MAILING ADDRESS			POSTAL CODE
	OWNER		EMAIL	PHONE
	MAILING ADDRESS			POSTAL CODE
PRESENT USE:		PROPOSED USE:		
CHECK ALL THAT APPLY	<b>BUILDING</b>	<b>PLANNING</b>	<b>INFRASTRUCTURE</b>	<b>HERITAGE</b>
	<input type="checkbox"/> INTERIOR RENOVATION	<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> VARIANCE	<input type="checkbox"/> STREET EXCAVATION
	<input type="checkbox"/> EXTERIOR RENOVATION	<input type="checkbox"/> ACCESSORY BLDG	<input type="checkbox"/> PLANNING LETTER	<input type="checkbox"/> DRIVEWAY CULVERT
	<input type="checkbox"/> ADDITION	<input type="checkbox"/> POOL	<input type="checkbox"/> PAC APPLICATION	<input type="checkbox"/> DRAINAGE
<input type="checkbox"/> DECK	<input type="checkbox"/> DEMOLITION	<input type="checkbox"/> COUNCIL APP	<input type="checkbox"/> WATER & SEWERAGE	
<input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> SIGN	<input type="checkbox"/> SUBDIVISION	<input type="checkbox"/> OTHER	
<input type="checkbox"/> MINIMUM STANDARDS	<input type="checkbox"/> OTHER	<input type="checkbox"/> OTHER	<input type="checkbox"/> HERITAGE DEVELOPMENT	
			<input type="checkbox"/> HERITAGE SIGN	
			<input type="checkbox"/> HERITAGE INFILL	
			<input type="checkbox"/> HERITAGE DEMO	
			<input type="checkbox"/> OTHER	
	REQUIRED:	BUILDING SPRINKLERED: Y / N	FIRE ALARM: Y / N	
DESCRIPTION OF WORK				
	PROJECT ESTIMATE (IF APPLICABLE)			

I consent to the City of Saint John sending to me commercial electronic messages, from time to time, regarding City initiatives and incentives.

**General Collection Statement**

This information is being collected in order for the City of Saint John to deliver an existing program / service; the collection is limited to that which is necessary to deliver the program / service. Unless required to do so by law, the City of Saint John will not share your personal information with any third party without your express consent.

The legal authority for collecting this information is to be found in the Municipalities Act and the Right to Information and Protection of Privacy Act. For further information or questions regarding the collection of personal information, please contact the Access & Privacy Officer:

City Hall Building  
 15 Market Square Saint  
 John, NB E2L 1E8  
[commonclerk@saintjohn.ca](mailto:commonclerk@saintjohn.ca)  
 (506) 658-2862



I, the undersigned, hereby apply for the permit(s) or approval(s), indicated above for the work described on plans, submissions and forms herewith submitted. This application includes all relevant documentation necessary for the applied for permit(s) or approval(s). I agree to comply with the plans, specifications and further agree to comply with all relevant City By-laws and conditions imposed.

Applicant Name

Applicant Signature

Date



## Schedule F: Tiers

<b>For the purposes of this schedule MICI means:</b>
Multi-unit dwellings of 3 units and above;
Industrial buildings or structures;
Commercial buildings or structures;
Institutional buildings or structures;
And any other building or structure that is not a Minor and Medium Residential.

<b>TIER 1</b>
Minor and Medium Residential Window and Door
Minor and Medium Residential Deck
Minor and Medium Residential Siding
Minor and Medium Residential - Interior Renovations Value less than \$20,000
Minor and Medium Residential - Exterior Renovations Value less than \$20,000
Minor and Medium Residential - Accessory Building and Garage
All Demolitions
Electrical

<b>TIER 2</b>
Minor and Medium Residential – New
Minor and Medium Residential - New dwelling unit or secondary suite
Minor and Medium Residential - Addition
Minor and Medium Residential- Interior Renovations Value \$20,000 and greater
Minor and Medium Residential - Exterior Renovations Value \$20,000 and greater
MICI - Interior Renovations Value less than \$25,000
MICI - Exterior Renovations Value less than \$25,000
MICI - Change of Occupancy, no renovations
Mobile Home
Tents

<b>TIER 3</b>
MICI - New
MICI - Addition
MICI - New dwelling unit
MICI - Interior Renovations Value \$25,000 and greater
MICI - Exterior Renovations Value \$25,000 and greater

# Building & Development Permit Application

Checklist required for a complete application for:

## ➤ Interior Renovations (Residential)

Applicant must submit all that are applicable:

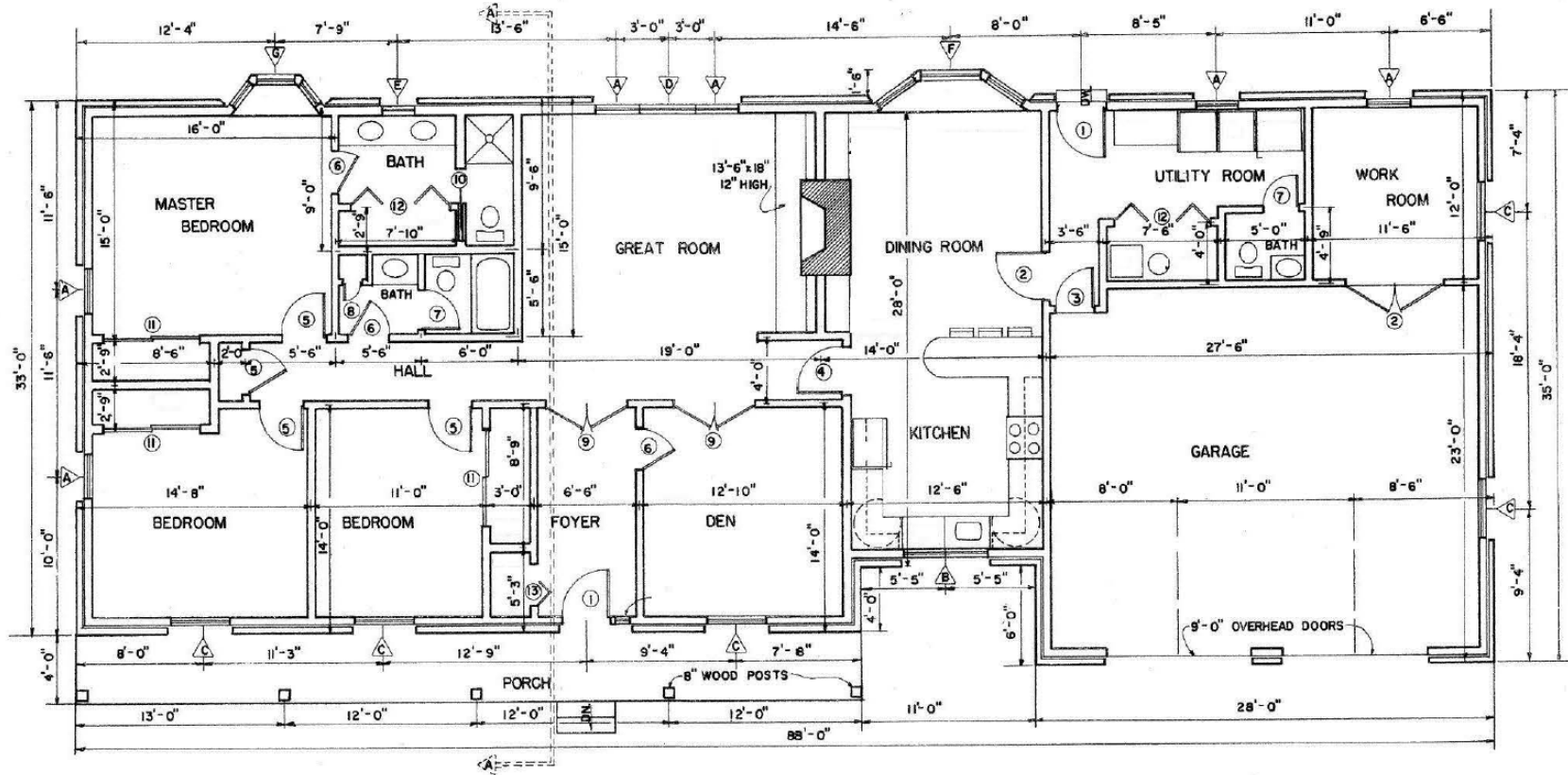
- ❑ Completed **Application Form** signed
- ❑ **Permit fee** and **refundable deposit**
- ❑ **Floor Plan(s)** showing
  - room dimensions
  - exit locations
  - each room use labelled (kitchen, dining room, furnace room, etc.)
  - existing & proposed partition & load bearing wall locations and showing bearing to grade (if constructing or removing partition walls)
  - showing fire separations (if applicable)
- ❑ **Foundation Plan** may be required if
  - alterations / repairs are done to foundation
  - creating / increasing opening in foundation wall (window / door openings)
  - altering building structure (i.e. removal of walls to create open concept) showing bearing to existing structural support (beams and/or outer foundation wall)
  - finishing basement – showing
- ❑ **Cross Section Plan** may be required if
  - If structural renovations / repairs are to be done, show existing construction details and any new construction details (example: replacing section of floor joists on 1<sup>st</sup> floor – plan review will require the existing floor joist size, new joist size, do they align with a beam in the basement and what is the footing size under the existing beam support in basement, to ensure that all meet NBC requirements)
- ❑ **Ventilation information** may be required if applicable.
- ❑ **Other information** may also be required to complete the application. It is therefore strongly recommended that the applicant consult with City staff prior to submission.



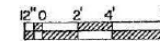
- You may be subject to **Fire Marshall / Saint John Fire Prevention** approval  
– please contact them directly for inquiries at (506)658-2962  
or [fireprevention@saintjohn.ca](mailto:fireprevention@saintjohn.ca)



# FLOOR PLANS EXAMPLE



FLOOR PLAN

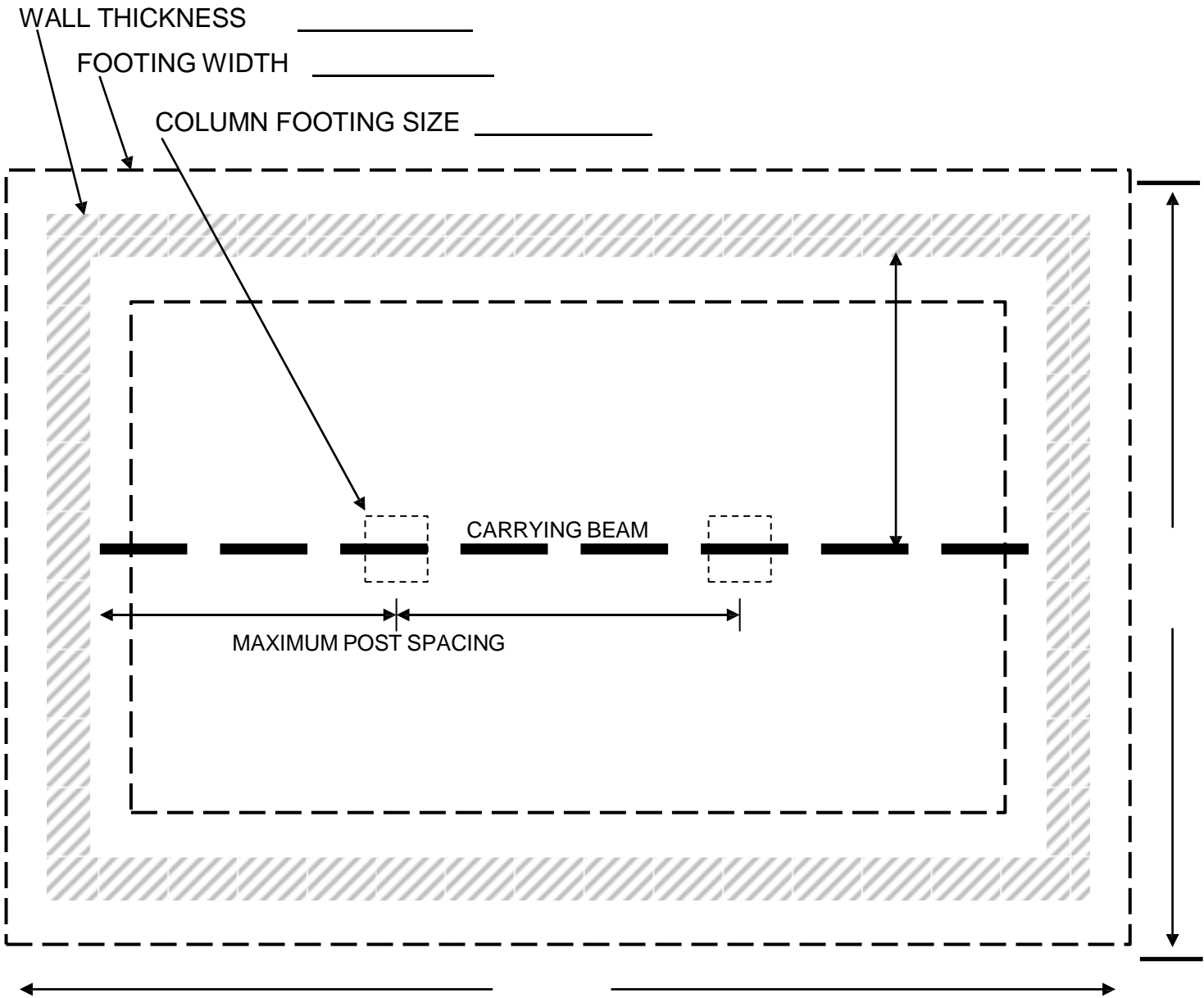


SCALE 3/16" = 1' - 0"

# FOUNDATION - TYPICAL

## (Part 9 National Building Code – Residential)

NUMBER OF FLOORS SUPPORTED	
CARRYING BEAM SIZE	
FLOOR JOIST SIZE	
FLOOR JOIST SPACING	
FLOOR JOIST SPAN	See diagram
MAXIMUM POST SPACING	See diagram

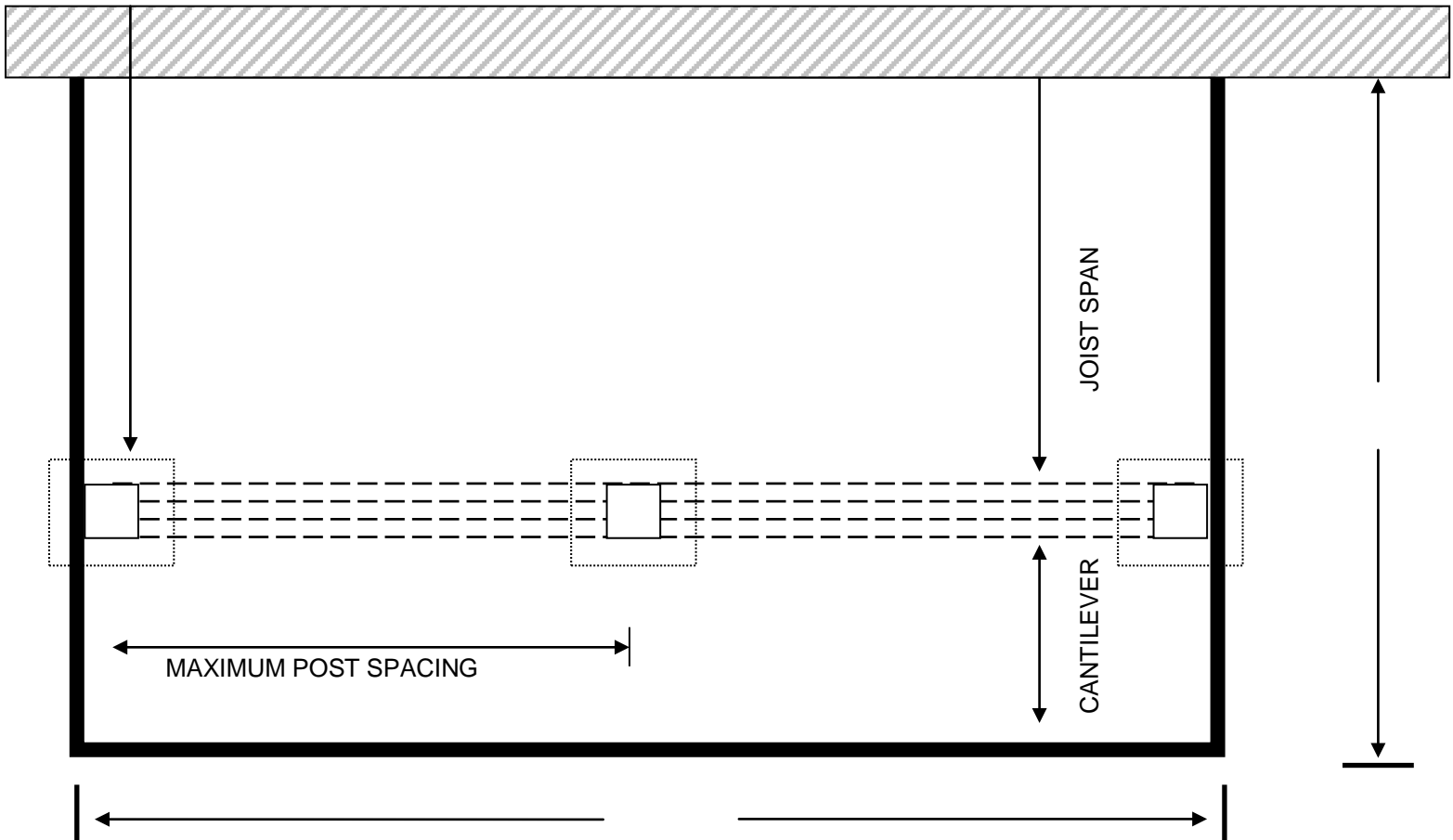


# FOUNDATION - POST & BEAM

## (Part 9 National Building Code – Residential)

NUMBER OF FLOORS SUPPORTED	
CARRYING BEAM SIZE	3 @ 2 x
FLOOR JOIST SIZE	
FLOOR JOIST SPACING	
FLOOR JOIST SPAN	See diagram
MAXIMUM POST SPACING	See diagram
CANTILEVER	See diagram

COLUMN FOOTING SIZE \_\_\_\_\_





## TYPICAL WALL SECTION (EXTERIOR) - SINGLE STOREY (RESIDENTIAL)

### Roof Construction

FINISH: Shingles \_\_\_ Metal \_\_\_ Other: \_\_\_\_\_

SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards: \_\_\_\_\_

Thickness: \_\_\_\_\_

TRUSSES: Yes \_\_\_ No \_\_\_ (If no enter rafter info)

RAFTERS: Size \_\_\_\_\_ Spacing \_\_\_\_\_

INSULATION: Type: \_\_\_\_\_ R Value \_\_\_\_\_

VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_

CEILING FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_

Type: \_\_\_\_\_ Thickness \_\_\_\_\_

### Wall Construction

EXTERIOR CLADDING:

Vinyl \_\_\_ Metal \_\_\_ Clapboard \_\_\_ Other: \_\_\_\_\_

HOUSE WRAP:

Tyvek \_\_\_ Typar \_\_\_ Tarpaper \_\_\_ Other: \_\_\_\_\_

EXTRUDED POLYSTYRENE \_\_\_\_\_

EXPANDED POLYSTYRENE \_\_\_\_\_ (If Applicable)

SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards \_\_\_\_\_

Thickness: \_\_\_\_\_

WALL STUD: Size \_\_\_\_\_ Spacing \_\_\_\_\_

INSULATION: Type \_\_\_\_\_ R-Value \_\_\_\_\_

VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_

INTERIOR FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_

Type \_\_\_\_\_ Thickness \_\_\_\_\_

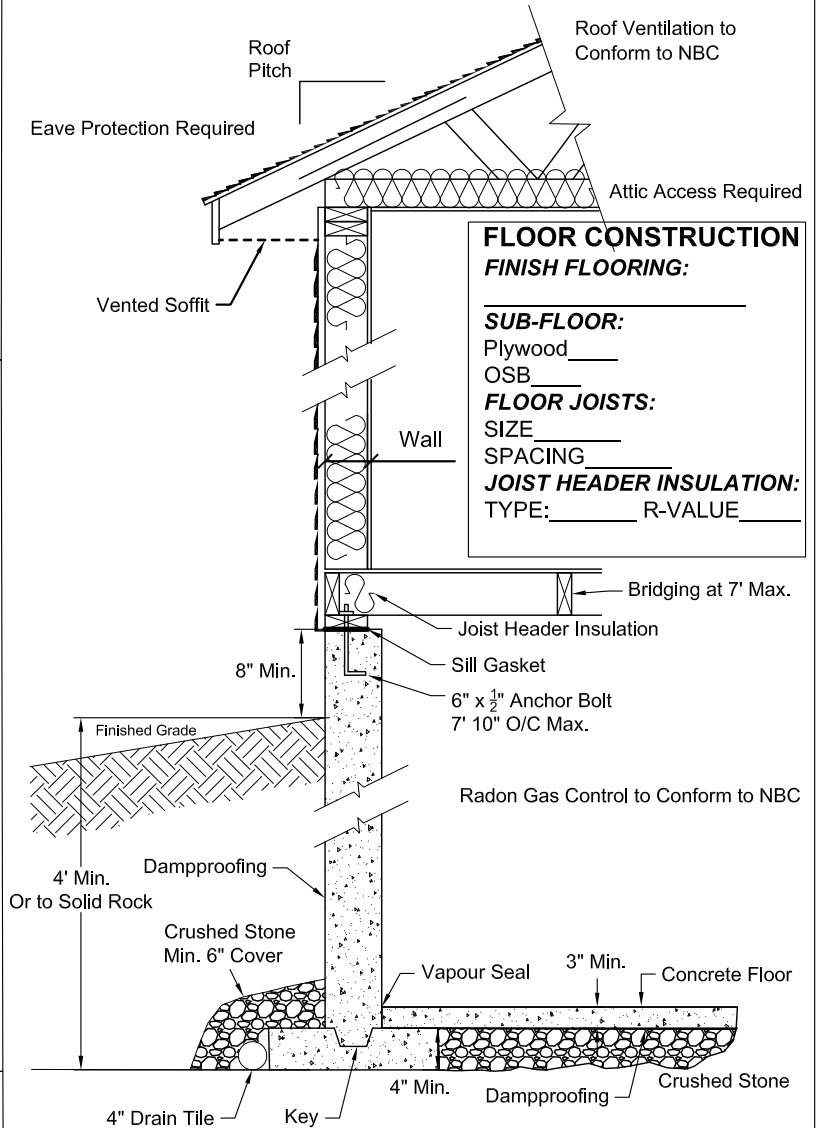
### FOUNDATION

FOUNDATION WALL THICKNESS: \_\_\_\_\_

FOOTING WIDTH: \_\_\_\_\_

BELOW GRADE WALL ASSEMBLY: \_\_\_\_\_

BELOW SLAB INSULATION: \_\_\_\_\_



#### FLOOR CONSTRUCTION FINISH FLOORING:

##### SUB-FLOOR:

Plywood \_\_\_\_\_

OSB \_\_\_\_\_

##### FLOOR JOISTS:

SIZE \_\_\_\_\_

SPACING \_\_\_\_\_

##### JOIST HEADER INSULATION:

TYPE: \_\_\_\_\_ R-VALUE \_\_\_\_\_

*Drawings are not to scale*

## TYPICAL WALL SECTION (EXTERIOR) - TWO STOREY (RESIDENTIAL)

### Roof Construction

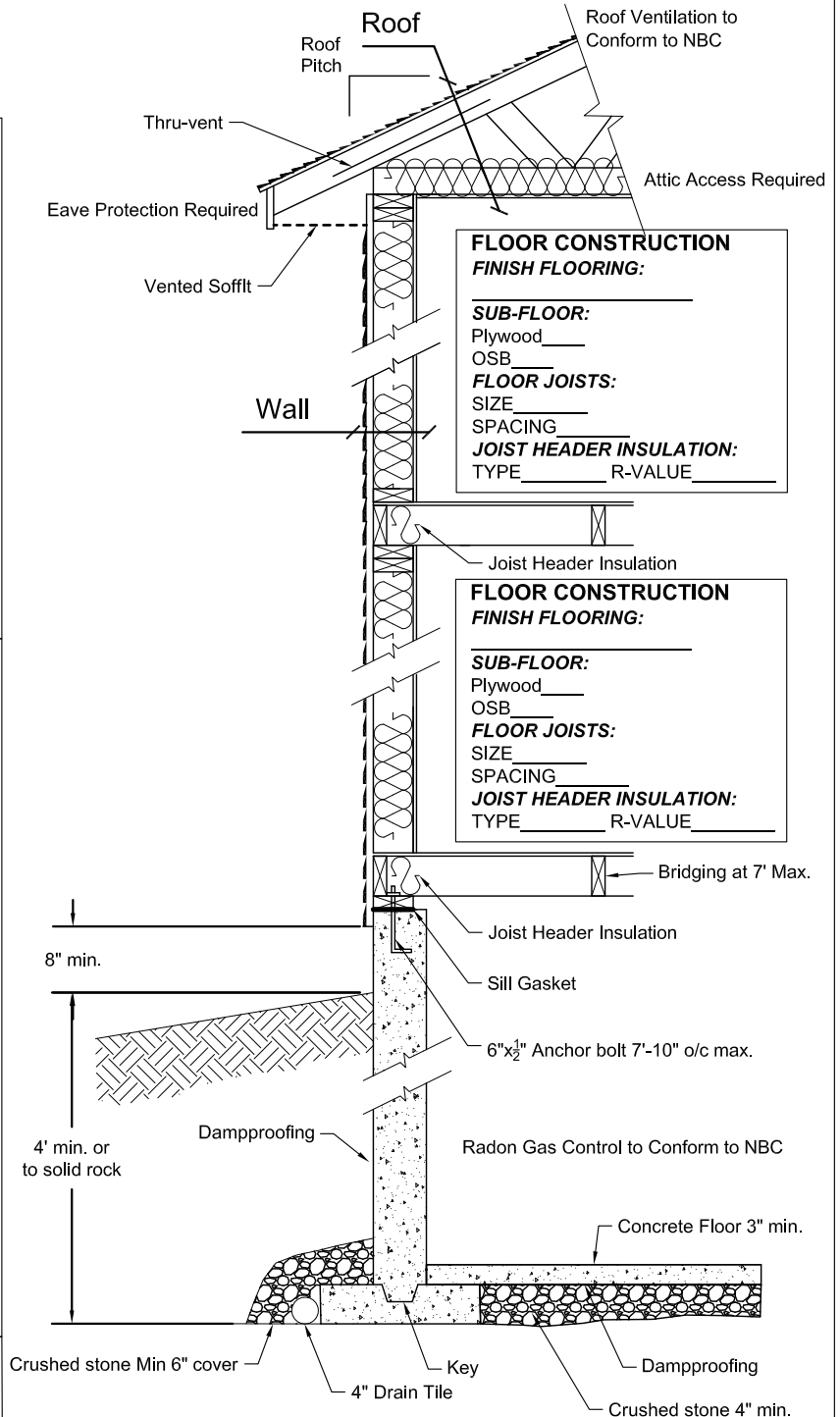
FINISH: Shingles \_\_\_ Metal \_\_\_ Other: \_\_\_\_\_  
 SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards: \_\_\_\_\_  
 Thickness: \_\_\_\_\_  
 TRUSSES: Yes \_\_\_ No \_\_\_ (If no enter rafter info)  
 RAFTERS: Size \_\_\_\_\_ Spacing \_\_\_\_\_  
 INSULATION: Type: \_\_\_\_\_ R Value \_\_\_\_\_  
 VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_  
 CEILING FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_  
 Type: \_\_\_\_\_ Thickness \_\_\_\_\_

### Wall Construction

EXTERIOR CLADDING:  
 Vinyl \_\_\_ Metal \_\_\_ Clapboard \_\_\_ Other: \_\_\_\_\_  
 HOUSE WRAP:  
 Tyvek \_\_\_ Tytar \_\_\_ Tarpaper \_\_\_ Other: \_\_\_\_\_  
 EXTRUDED POLYSTYRENE \_\_\_\_\_  
 EXPANDED POLYSTYRENE \_\_\_\_\_ (If Applicable)  
 SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards \_\_\_\_\_  
 Thickness: \_\_\_\_\_  
 WALL STUD: Size \_\_\_\_\_ Spacing \_\_\_\_\_  
 INSULATION: Type \_\_\_\_\_ R-Value \_\_\_\_\_  
 VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_  
 INTERIOR FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_  
 Type \_\_\_\_\_ Thickness \_\_\_\_\_

### FOUNDATION

FOUNDATION WALL THICKNESS: \_\_\_\_\_  
 FOOTING WIDTH: \_\_\_\_\_  
 BELOW GRADE WALL ASSEMBLY: \_\_\_\_\_  
 \_\_\_\_\_  
 BELOW SLAB INSULATION: \_\_\_\_\_



## TYPICAL WALL SECTION (POST & BEAM) - SINGLE STOREY (RESIDENTIAL)

### Roof Construction

FINISH: Shingles \_\_\_ Metal \_\_\_ Other: \_\_\_\_\_

SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards: \_\_\_\_\_

Thickness: \_\_\_\_\_

TRUSSES: Yes \_\_\_ No \_\_\_ (If no enter rafter info)

RAFTERS: Size \_\_\_\_\_ Spacing \_\_\_\_\_

INSULATION: Type: \_\_\_\_\_ R Value \_\_\_\_\_

VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_

CEILING FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_

Type: \_\_\_\_\_ Thickness \_\_\_\_\_

### Wall Construction

EXTERIOR CLADDING:

Vinyl \_\_\_ Metal \_\_\_ Clapboard \_\_\_ Other: \_\_\_\_\_

HOUSE WRAP:

Tyvek \_\_\_ Typar \_\_\_ Tarpaper \_\_\_ Other: \_\_\_\_\_

EXTRUDED POLYSTYRENE \_\_\_\_\_

EXPANDED POLYSTYRENE \_\_\_\_\_ (If Applicable)

SHEATHING: OSB \_\_\_ Plywood \_\_\_ Boards \_\_\_\_\_

Thickness: \_\_\_\_\_

WALL STUD: Size \_\_\_\_\_ Spacing \_\_\_\_\_

INSULATION: Type \_\_\_\_\_ R-Value \_\_\_\_\_

VAPOUR BARRIER: 6mm Poly \_\_\_ Other: \_\_\_\_\_

INTERIOR FINISH: Gyproc \_\_\_ Other: \_\_\_\_\_

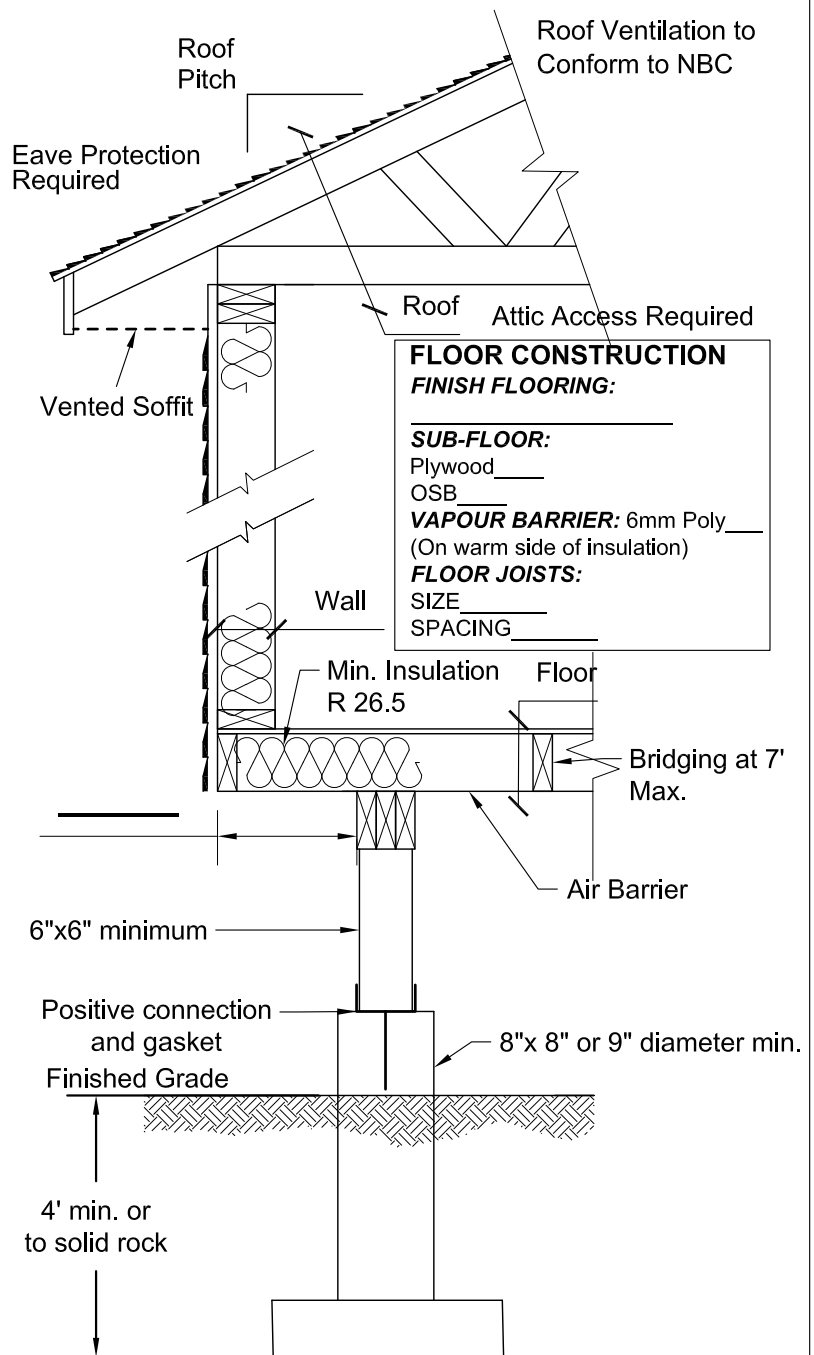
Type \_\_\_\_\_ Thickness \_\_\_\_\_

### FOUNDATION

BEAM 3 @ 2" X \_\_\_\_\_

POST SIZE (6" x 6" min.): \_\_\_\_\_

FOOTING WIDTH: \_\_\_\_\_



**FLOOR CONSTRUCTION**  
**FINISH FLOORING:**  
\_\_\_\_\_  
**SUB-FLOOR:**  
Plywood \_\_\_  
OSB \_\_\_  
**VAPOUR BARRIER:** 6mm Poly \_\_\_  
(On warm side of insulation)  
**FLOOR JOISTS:**  
SIZE \_\_\_\_\_  
SPACING \_\_\_\_\_

*Drawings are not to scale*



**INSTRUCTIONS**

Complete the following chart with the construction details for the project.

**Table 1** - Identify each different building envelope construction and indicate the matching assembly number from those available (see Energy Efficiency Assemblies Guide for details)

<http://www.saintjohn.ca/site/media/SaintJohn/Assemblies%20Information%20Binder.pdf>.

If you will be providing your own assembly, a blank template is available for you to complete. A cross section of the assembly must be provided.

**Table 2** - Identify the windows and doors in the construction, along with the model and either the ER value, the U value or the Energy Star Zone letter. **(Leave all labels on the windows for final pre-occupancy inspection.)**

**Table 3** – Identify the mechanical equipment of the building including the equipment’s associated efficiency information. A form for ventilation must also be submitted (see page 3).

**Table 4** - Only needs to be completed if trade-offs are being used.

**PROPERTY ADDRESS:**

<b>1.</b>	<b>Type of Assembly</b>	<b>Assembly number</b>	<b>RSI or R Value</b>	<b>For office use</b>
<b>Building Envelope</b>	<b>Ceilings</b>			
	Ceilings (below attic)			
	Ceiling (cathedral and flat roof – if applicable)			
	Ceilings tray			
	<b>Exterior Walls &amp; location</b>			
	Walls			
	Walls			
	Walls			
	Walls			
	Shared Garage Wall (if applicable)			
	<b>Joist Headers</b>			
	Floor Joist Cavity			
	<b>Basement Walls</b>			
	Basement wall			
	Basement wall			
<b>Floors</b>				
Slab				

City of Saint John  
Prescriptive Energy Efficiency Design Detail

<b>2.</b>	In floor heating <b>Model</b>	Y/N <b>Rating</b> (ER, U or Energy Star)	<b>Model</b>	<b>Rating</b> (ER, U or Energy Star)
<b>Windows, Doors and Skylights</b>	<b>Windows</b>			
	<b>Doors</b>			
	<b>Skylights</b>			

### 3. MECHANICAL SYSTEMS

<b>Ventilation System</b>			
Manufacturer		Model	
Ventilation Rate		<b>See attached ventilation form to complete (next page)</b>	
<b>OFFICE USE</b>	Efficiency At 0°C	At -25°C	
<b>Heating &amp; Cooling Systems</b>			
<b>Main System</b>		Manufacturer	
Fuel Type		Model	
Heat Pump	AHRI #		
<b>OFFICE USE</b>	Efficiency		
<b>Secondary System</b>		Manufacturer	
Fuel Type		Model	
<b>OFFICE USE</b>	Efficiency		
<b>Other Systems</b>		Manufacturer	
Fuel Type		Model	
<b>OFFICE USE</b>	Efficiency		
<b>Hot Water System</b>			
Type		Manufacturer	
Fuel Type		Model	
<b>OFFICE USE</b>	Efficiency		

City of Saint John  
Prescriptive Energy Efficiency Design Detail

**Mechanical Ventilation Record – Residential** (based on HRAI form)

<b>Installer Information</b>			
Company			
Address			
Telephone		Cell	
Contact name			
HRAI # (if applicable)			
<b>Design method for Ventilation</b> NBC 2010 (9.32) <input type="checkbox"/> CSA F326 <input type="checkbox"/>			
<b>Ventilation Capacity Rate</b>			
Room Type	Quantity	@	Ventilation Capacity
Unfinished Basement		L/s	L/s
Master Bedroom		L/s	L/s
Bedrooms		L/s	L/s
Kitchen		L/s	L/s
Living Room		L/s	L/s
Dining Room		L/s	L/s
Bathroom		L/s	L/s
Other Habitable Rooms		L/s	L/s
		L/s	L/s
<b>Total Ventilation Capacity</b>			L/s
<b>Ventilation System</b>			
Manufacturer		Model	
Design Air Flow			
Additional Exhaust			
Bathroom Fan (quantity x air change rate L/s) =			
Kitchen Range Hood (quantity x air change rate L/s) =			
Other			

City of Saint John  
Prescriptive Energy Efficiency Design Detail

<b>4.</b>	<b>TRADE-OFFS</b>
	Only complete this form if you are using trade-offs. If you require additional room to complete the form, please attach to the application.
	<b>1. ABOVE GRADE EXTERIOR WALLS AND CEILINGS</b>
<b>Above Grade Exterior walls &amp; Ceilings</b>	Detail the trade offs
	<b>2. WINDOWS</b>
	Trade-offs for windows must be in the same orientation and have same window surface areas. Doors cannot be traded. Only fill out the detail for the elevation you are trading.
<b>Windows</b>	
	<b>3. BUILDINGS WITH LOW CEILINGS (9.36.2.11.4)</b>